ENVIRONMENTAL PERMIT APPLICATION PLANS

REGENCY

A CONDOMINIUM PROJECT

PHASE I - 39 UNITS

SECTION 4, TOWNSHIP 1 SOUTH, RANGE 1 EAST, LEON COUNTY, FLORIDA

A DEVELOPMENT BY

LINDERAND, INC.

P.O. BOX 15846

TALLAHASSEE, FLORIDA

32317

(850) 894-6035

LEGEND

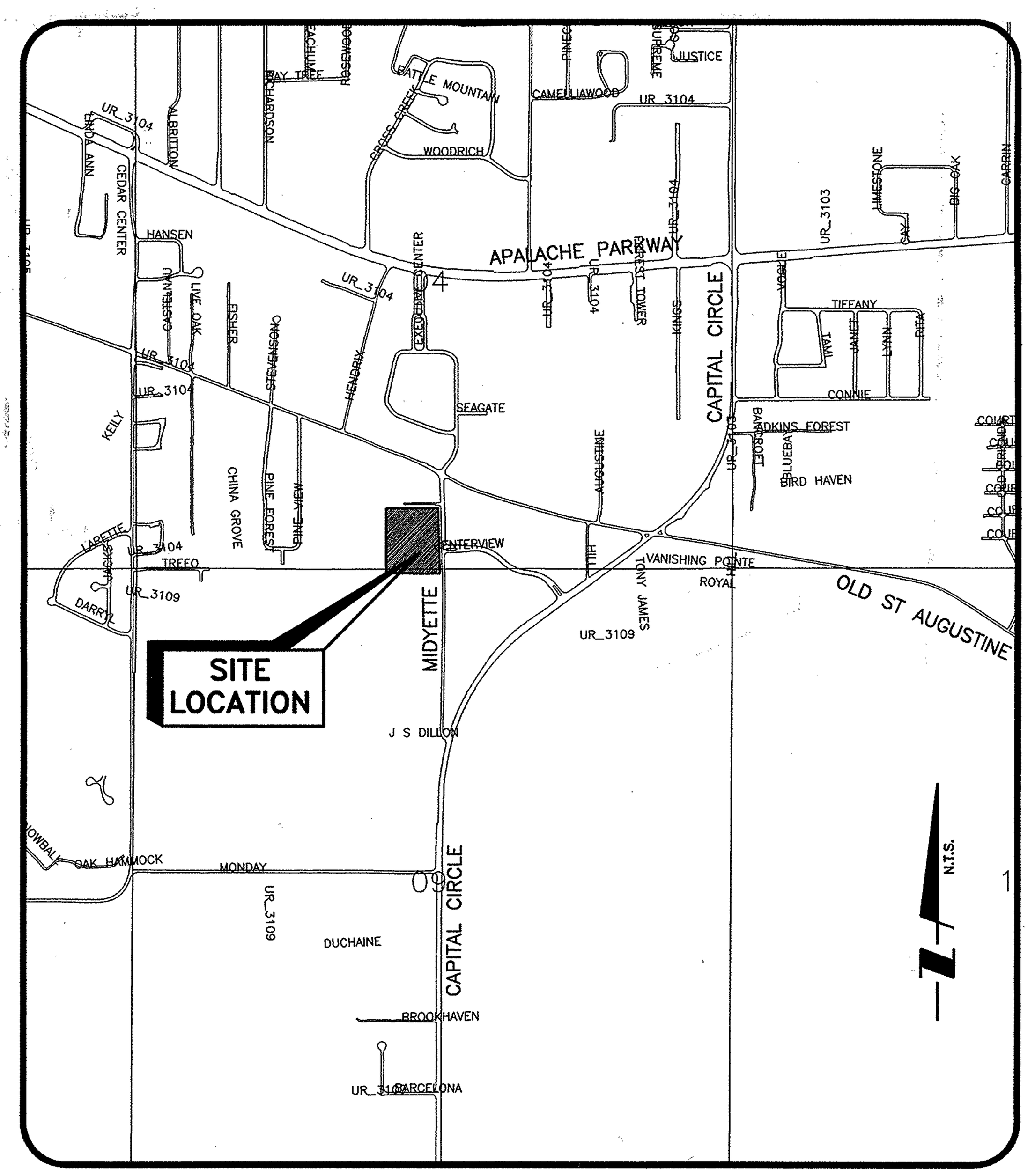
ABBREVIATIONS

BOC	BACK OF CURB or BACK OF GUTTER
EOP	EDGE OF PAVEMENT
DE	DRAINAGE EASEMENT
LME	LAKE MAINTENANCE EASEMENT
UE	UTILITY EASEMENT
CUE	COUNTY UTILITY EASEMENT
EL or ELEV	ELEVATION
INV	INVERT
LF	LINEAR FEET
NGVD	NATIONAL GEODETIC VERTICAL DATUM
PVI	POINT OF VERTICAL INTERSECTION
NIC	NOT IN CONTRACT
R/W or ROW	RIGHT OF WAY
SB	SOIL BORING
STA	STATION
UP	UTILITY POLE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
CATV	CABLE TELEVISION
FPL or FP&L	FLORIDA POWER & LIGHT
UTF	UNITED TELEPHONE OF FLORIDA
B	BASE LINE
C	CENTERLINE
F	FLOW LINE
P	PROPERTY LINE
CMP	CORRUGATED METAL PIPE
D.I.P.	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
MH	MANHOLE
STR	STORM SEWER STRUCTURE
X.XX' LT/X.XX' RT	FEET LEFT or FEET RIGHT

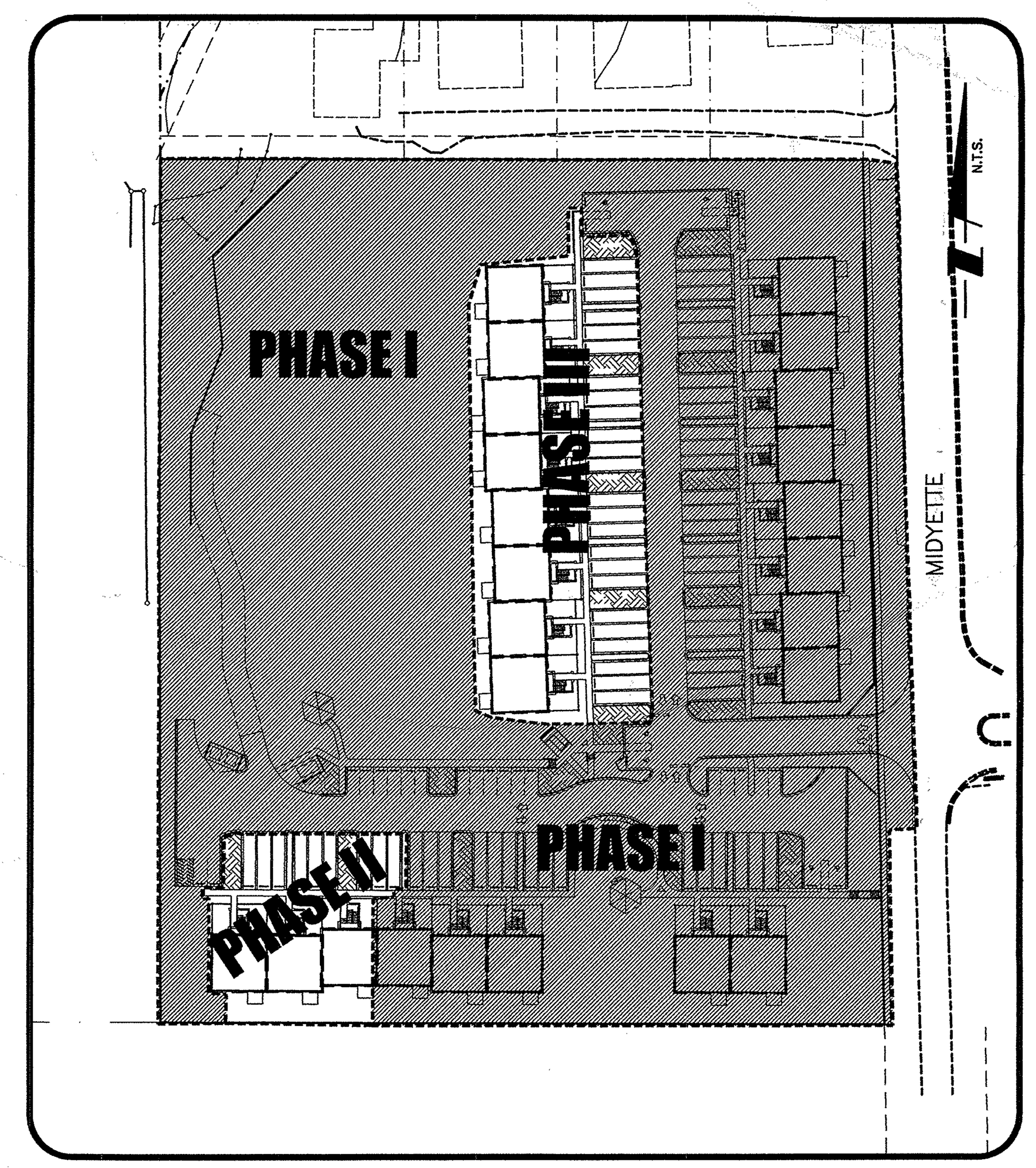
SYMBOLS

- AIR RELEASE VALVE, COMPLETE
- IN-LINE VALVE W/ BOX
- FIRE HYDRANT, COMPLETE
- BLOW-OFF W/ BACTERIAL SAMPLE POINT
- BACTERIAL SAMPLE POINT
- BLOW-OFF
- PIPE PLUG
- WATER METER
- IRRIGATION METER
- REDUCER
- BACKFLOW PREVENTER/ABOVE GROUND METER
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL & CLEAN-OUT
- PUMP STATION
- STORM SEWER & STRUCTURE
- HEADWALL
- U-ENDWALL
- CONTROL STRUCTURE
- MITERED END/FLARED END SECTION
- PROPOSED ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING ELEVATION
- EXISTING PAVEMENT ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALE & DIRECTION OF FLOW
- HANDICAPPED PARKING SPACE
- UNDERDRAIN

NOTE: OPEN SYMBOLS AND DASHED LINES DENOTE EXISTING IMPROVEMENTS



LOCATION MAP



SITE KEY

PRE-CONSTRUCTION CONFERENCE

The project engineer shall arrange a pre-construction conference among representatives of affected utilities, contractors, engineers and developers for the purpose of coordinating construction and inspection. The project engineer shall prepare minutes of the meeting and circulate to all affected parties.

No construction, beyond clearing and grading, shall begin prior to this meeting.

See Exhibit B For Special Conditions

APPROVED

These drawings are approved as conforming to basic water & sewer design criteria of the city of Tallahassee. This approval is valid for 1 year for construction of the systems as shown herein. Individual connections are not included in this approval. Applicable permits must be obtained by the project engineer prior to construction.

CITY OF TALLAHASSEE
WATER & SEWER DEPT.

9-26-02 — DATE; [signature] — ENGINEER

INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY (EXISTING CONDITIONS)
3	SITE LAYOUT GEOMETRY
4	DEMOLITION/EROSION CONTROL PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	SANITARY SEWER PLAN AND PROFILE A
8	SANITARY SEWER PLAN AND PROFILE B
9	SITE CONSTRUCTION DETAILS
10	PLANTING PLAN
11	PLANTING NOTES AND DETAILS

Regency Condos
Midyette Rd

See Exhibit B For Special Conditions

Exhibit A
APPROVED
Permit No. TEM020088
As being Consistent with the City of Tallahassee Environmmtal Management Ordinance
[signature]
Authorized Signature For the Director Growth Management Department
9/26/02 Date Approved
9/26/05 Original Expiration
Extension Expiration

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA

NO.	DATE	DESCRIPTION	BY
9			
8			
7			
6			
5			
4			
3			
2	06/25/02	ADD PLAN AND PROFILE SHEETS	J.M.L./1322
1	06/20/02	REVISED PER CITY LUES COMMENTS	J.M.L./1322

STATUS : REVISIONS

PROJECT MANAGER	PROJECT ENGINEER	PROJECT SURVEYOR
BIBLER DESIGN DEV.	DAVID VAN LEUVEN P.E.	ALAN PLATT P.L.S.

CHECKED BY ____________ DATE ____________

Jun 25, 2002 – 15:20:33 JLIGHTEL|X:\Env\03672\03\Rev02\36720301.dwg

TEM020088

VERIFIED SEALED DOCUMENT

REC'D JUL 15 2002

RESERVED FOR STATUS AND DATE STAMPS

PROJECT NUMBER
03672-000-0000

DATE
JUNE 2002

IND
D-

WilsonMiller, Inc. – FL Lic# LC-C000170
WilsonMiller, Inc. – Certificate of Authorization #43

WilsonMiller

Planners • Engineers • Ecologists • Surveyors • Landscape Architects • Transportation Consultants

WilsonMiller, Inc.

Naples • Fort Myers • Sarasota • Bradenton • Tampa • Tallahassee

1311 Executive Center Drive, Suite 100 • Tallahassee, Florida 32301 • Phone 850-878-5001 • Fax 850-878-5941 • E-mail Tallahassee@WilsonMiller.com • Web Site www.wilsonmiller.com

Mailing address:

CITY HALL
GROWTH MANAGEMENT
300 SOUTH ADAMS STREET
TALLAHASSEE, FLORIDA 32301

CITY OF TALLAHASSEE

Location address:

GROWTH MANAGEMENT
100 W. VIRGINIA STREET
TALLAHASSEE, FLORIDA 32301
TELEPHONE (850) 891-7100

"EXHIBIT B"

SPECIAL CONDITIONS
PERMIT NO. TEM020088

This Permit is subject to conditions as set forth in the Environmental Management Ordinance and includes the following Special Conditions:

1. The arboricultural mitigation plan is to commence prior to the start of site clearing. The Applicant will be required to contact Ms. Gail Worrell at 933-0029, prior to the start of arboricultural work.
2. In accordance with Section 4.5(2)(a)(3)(c) Landscape Development Standards; Plant Material Standards for All Landscape Areas, Planting Volume. The planting volume for one or more trees shall be a minimum of 1200 cubic feet with a minimum width of 12 feet and a depth of three feet. Construction-grade fill material within planting areas shall be excavated to a depth of three feet below the finished grade of the planting area and replaced with a non-compacted "friable" topsoil.
3. Prior to the installation of the underground irrigation system, the Applicant will be required to submit drawings to the Environmental Inspector for review and approval. The project will not receive a certificate of occupancy until the irrigation system is in and operational.
4. Within 30 days of commencement of the project, the applicant shall submit all conservation easements dedicated to the City of Tallahassee.
5. A unity of title must be recorded and a copy provided to Growth Management prior to the issuance of a Certificate of Occupancy.

LEGEND:

SIR = SET IRON ROD
FCM = FOUND CONCRETE MONUMENT
FIP = FOUND IRON PIPE
FN/C = FOUND NAIL & CAP

SN/C = SET NAIL & CAP
R/W = RIGHT OF WAY
Δ = CENTRAL ANGLE
L = ARC LENGTH CH = CHORD

(P) = per PLAT PROVIDED BY CLIENT
(D) = per DEED PROVIDED BY CLIENT
(M) = AS MEASURED
OE = OVERHEAD POWER LINE

FFE = FINISHED FLOOR ELEVATION
INV = INVERT ELEVATION
RCP = REINFORCED CONCRETE PIPE
TCP = TERRA COTTA PIPE
ELEV = ELEVATION

BM = BENCHMARK AS NOTED
WV = WV = WATER VALVE
GV = GV = GAS VALVE

PP = PP = POWER POLE
LP = LP = LIGHT POLE
AP = AP = ANCHOR POLE
x215.2 = TYPICAL SPOT ELEVATION

W = WATER MAIN
G = GAS MAIN
WM = WM = WATER METER
T = TPED = TELEPHONE PEDESTAL
PVC = PLASTIC PIPE

SSMH = SANITARY SEWER MANHOLE
SWMH = STORMWATER MANHOLE
EXIST. = EXISTING
CMP = CORRUGATED METAL PIPE
UE = UNDERGROUND ELECTRIC

CONC = CONCRETE
= CONCRETE HATCHING
210 = CONTOUR ELEVATION (TYPICAL)

P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
R = RADIUS, OR RANGE

A5 = DENOTES WETLAND LOCATION BY OTHERS
F.A.C. = FLORIDA ADMINISTRATIVE CODE
196.71'(BOC) = TYPICAL BACK OF CURB ELEVATION
= INDICATES DIRECTION OF FLOW

LEGAL DESCRIPTION

(Per Official Record Book 1396, Page 805):

A tract of land lying in Section 4, Township 1 South, Range 1 East, Leon County, Florida, more particularly described as follows:

Commence at a St. Joe Paper Company concrete monument marking the Northeast corner of said Section 9 and run South 89 degrees 12 minutes 28 seconds West 2608.55 feet to a terra cotta monument used and previously accepted as the Northeast corner of the Northwest Quarter of said Section 9, thence South 89 degrees 55 minutes 20 seconds East 3.61 feet to a concrete monument lying on the Westerly right of way boundary of Midyette Road (66 foot right of way), thence North 89 degrees 55 minutes 20 seconds West 472.74 feet, thence North along the East boundary of property described in Official Records Book 1105, Pages 1283 and 1284 of the Public Records of Leon County, Florida, and a projection thereof a distance of 150.00 feet to the POINT OF BEGINNING . From said POINT OF BEGINNING continue North along the East boundary of said property a distance of 412.00 feet to the Southwest corner of Lot 4 as described in Official Records Book 905, Pages 1074 and 1075 of the Public Records of Leon County, Florida, thence South 89 degrees 55 minutes 20 seconds East along the South boundary of said Lot 4 and along the South boundary of Lot 3 as described in Official Records Book 905, Pages 1074 and 1075 and along the South boundaries of Lots 2 and 1 a described in Official Records Book 903, Pages 200 and 201 of the Public Records of Leon County, Florida, a distance of 457.17 feet to the Westerly right of way boundary of said Midyette Road, thence South 01 degrees 38 minutes 00 seconds East along said Westerly right of way boundary 412.18 feet, thence North 89 degrees 55 minutes 20 seconds West 468.92 feet to the POINT OF BEGINNING

And Also:

(Per Official Record Book 1416, Page 1472):

Commence at a St. Joe Paper Company concrete monument marking the Northeast corner of said Section 9 and run South 89 degrees 12 minutes 28 seconds West 2608.55 feet to a terra cotta monument used and previously accepted as the Northeast corner of the Northwest Quarter of said Section 9, thence South 89 degrees 55 minutes 20 seconds East 3.61 feet to a concrete monument lying on the Westerly right of way boundary of Midyette Road (66 foot right of way) for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 89 degrees 55 minutes 27 seconds West 472.74 feet, Thence North along the East boundary of property described in Official Records Book 1105, Pages 1283–1284 of the Public Records of Leon county, Florida, and a projection thereof 150.00 feet, thence South 89 degrees 55 minutes 20 seconds East 468.92 feet to the Westerly right of way boundary of said Midyette Road, thence South 01 degree 38 minutes 00 seconds East along said Westerly right of way boundary 48.18 feet to a point of curve to the right, thence along said right of way boundary and curve with a radius of 11,426.20 feet, through a central angle of 00 degrees 30 minutes 39 seconds, for an arc distance of 101.88 feet to the POINT OF BEGINNING.

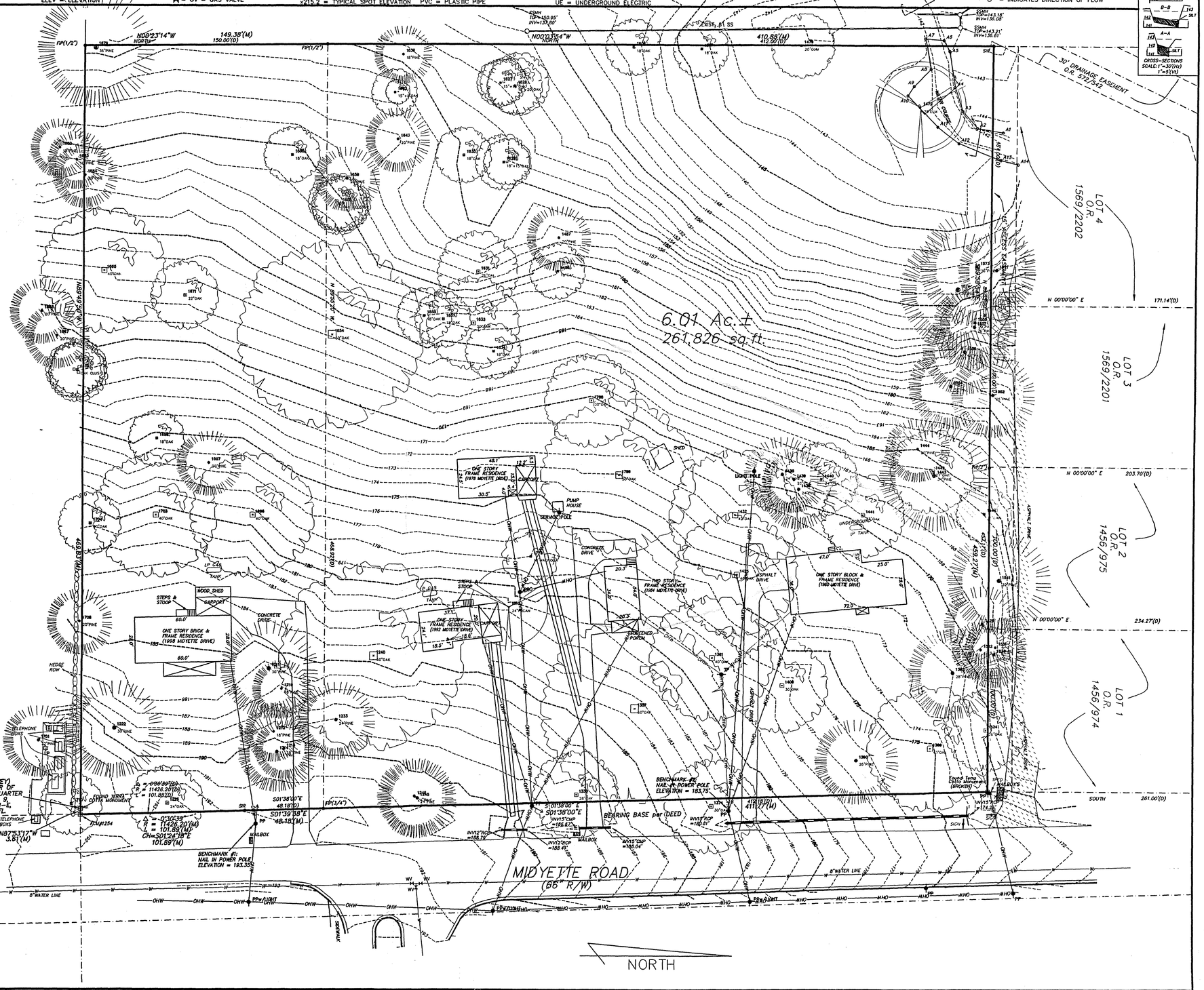
BEING MORE PARTICULARLY DESCRIBED IN AGGREGATE BY SURVEY AS FOLLOWS:

BEGIN at a terra cotta monument used and previously accepted as the Northeast corner of the Northwest Quarter of Section 9, Township 1 South, Range 1 East, Leon County, Florida, thence run North 89 degrees 49 minutes 50 seconds West a distance of 469.83 feet to an iron pipe (1/2"), thence run North 00 degrees 23 minutes 14 seconds West a distance of 149.38 feet to an iron pipe (1/2"), thence run North 00 degrees 03 minutes 54 seconds West a distance of 410.88 feet, thence run South 89 degrees 58 minutes 54 seconds East a distance of 459.27 feet to a terra cotta monument on the Westerly right of way boundary of Midyette Road (66' R/W), thence run South 01 degrees 38 minutes 00 seconds East along said right of way boundary a distance of 411.77 feet to an iron pipe (3/4"), thence run South 01 degrees 39 minutes 38 seconds East a distance of 48.18 feet to the point of a curve to the right, thence along said curve having a radius of 11,426.20 feet through a central angle of 00 degrees 30 minutes 39 seconds for an arc distance of 101.89 feet (the chord of said arc bears South 01 degrees 24 minutes 18 seconds East a distance of 101.89 feet) to a concrete monument (#1254), thence leaving said right of way boundary run North 87 degrees 53 minutes 17 seconds West a distance of 3.61 feet to the POINT OF BEGINNING, containing 6.01 acres, more or less, and being located in Section 4, Township 1 South, Range 1 East, Leon County, Florida.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.



CERTIFIED TO:
1) LINDERAND INVESTMENT CORP.

NOTES:
1) There are no visible encroachments on this property.
2) This property lies in Flood Zone " X ", as per F.I.R.M. Panel # 120144 0315 D ,Dated 11/19/97.
3) This surveyor has not been provided a current title opinion or abstract to the subject property. It is possible there are other deeds, easements, etc., recorded or unrecorded, that may affect the boundaries.
4) Elevations are based on N.G.V.D. 1929 Datum.

A.D. PLATT CERTIFICATE NO 4664 STATE OF FLORIDA REGISTERED SURVEYOR & MAPPER

I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THE PLAT AND DESCRIPTION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING AS ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS (F.A.C. 61G17-6).

ALAN D. PLATT DATE 6/5/02
FLORIDA LICENSED SURVEYOR AND MAPPER No. 4664

REVISIONS
/11/02: adp: water line
/15/02: adp: "water course"
6/05/02: replot with x-section

CLIENT NAME
LINDERAND INVESTMENT CORP.

A. D. PLATT & ASSOC., INC.
BOUNDARY • TOPOGRAPHIC • SUBDIVISIONS
489 JOHN KNOX ROAD • TALLAHASSEE, FLORIDA 32303 • (850) 385-1036
Alan D. Platt, P.S.M. President — Licensed Business #6590 — Charles L. Powell, P.S.M.

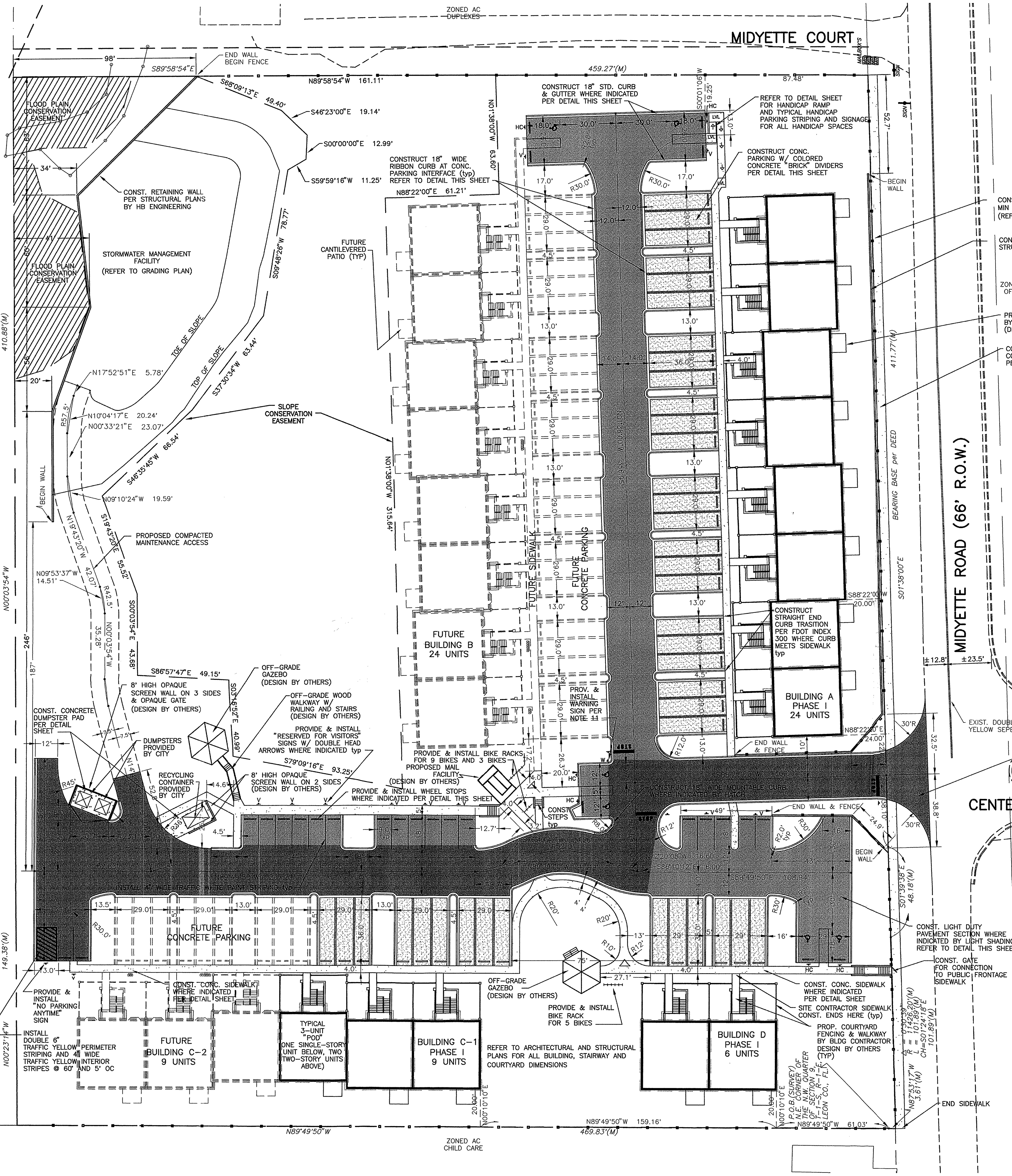
UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

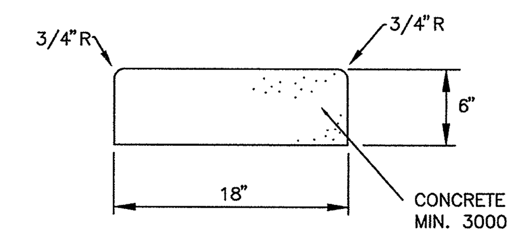
DATE OF SURVEY	12/03/01
JOB #	6451
CONTRACT #	
DRAWN BY	adp
FILE DATA	6451BS.DWG
SCALE	1" = 30'

PROJECT NAME
MIDYETTE ROAD SITE

SHEET TITLE
BOUNDARY & TOPOGRAPHIC SURVEY OF: 6.01 ACRE TRACT IN SECTION 4, TOWNSHIP 1 SOUTH, RANGE 1 EAST, LEON COUNTY, FLORIDA

1 OF 1

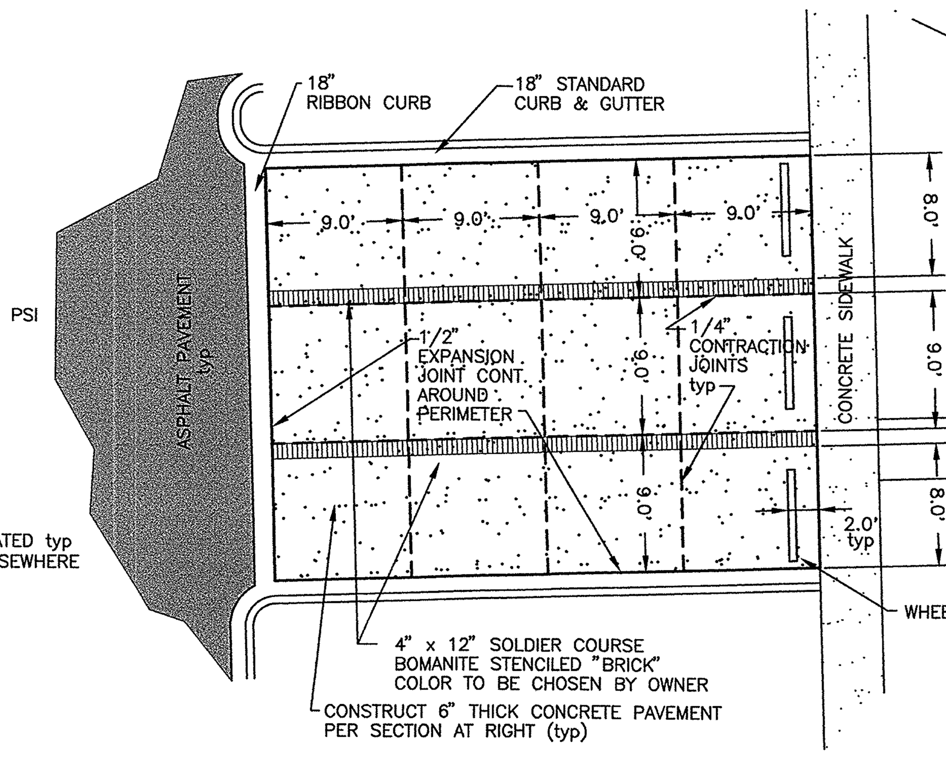




RIBBON CURB DETAIL

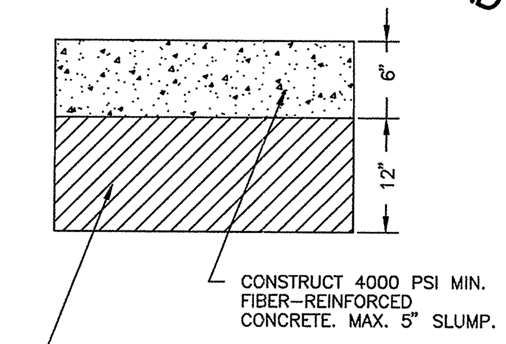
NOT TO SCALE

PROVIDE 1/8" – 1/4" CONTRACTION JOINT AT 10' CENTERS (MAX.)



CONCRETE RESIDENT PARKING AREA DETAIL

1" = 10'



COMPACT SUBGRADE TO 98% MOD. PROCTOR MAX. DRY DENSITY MIN. LBR 40

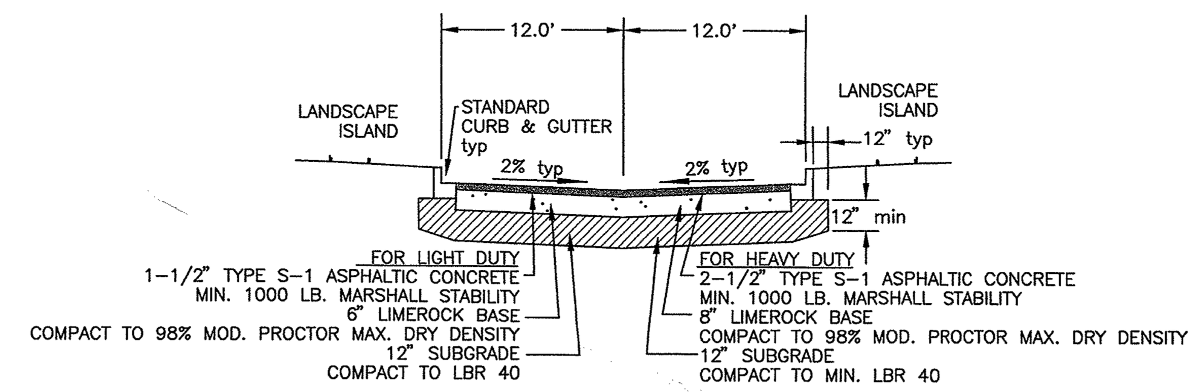
CONCRETE PAVEMENT SECTION

NOT TO SCALE

CONCRETE NOTES:

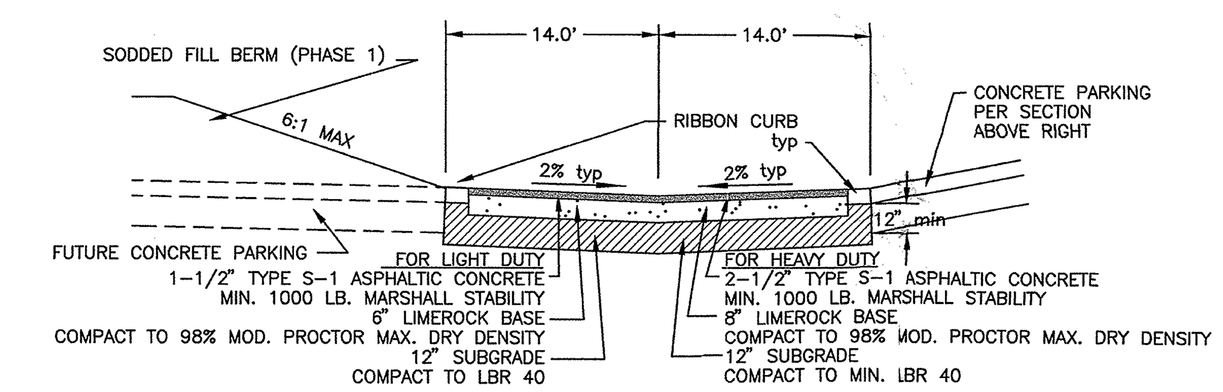
1. tHE CONCRETE SLAB SHALL HAVE A MINIMUM FLEXURAL STRENGTH OF 600 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH ASTM C–78. THE CONCRETE WORK SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 350.

2. JOINTS AND SEALING COMPOUND SHALL CONFORM TO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



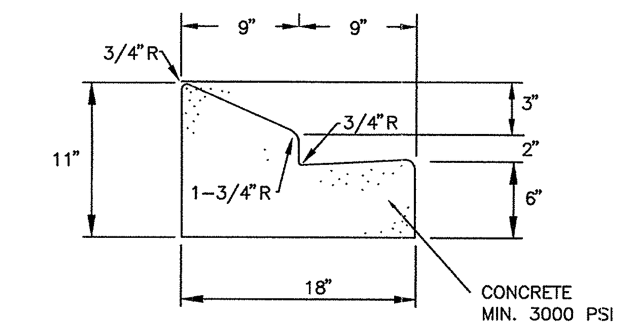
TYPICAL ASPHALT PAVEMENT SECTION AT DRIVEWAY

NOT TO SCALE



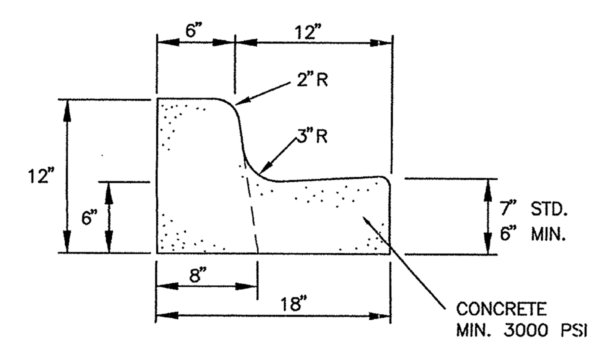
TYPICAL ASPHALT PAVEMENT SECTION AT RESIDENT PARKING

NOT TO SCALE



MOUNTABLE CURB & GUTTER DETAIL

NOT TO SCALE



STANDARD CURB & GUTTER DETAIL

NOT TO SCALE

1. WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT, AND THE THICKNESS OF THE LIP SHALL BE 6"

2. PROVIDE 1/8" – 1/4" CONTRACTION JOINT AT 10' CENTERS (MAX.)

GENERAL NOTES:

1. BEFORE APPLYING FOR A BUILDING PERMIT, BUILDING PLANS MUST BE REVIEWED AND APPROVED BY THE ELECTRIC, SOLID WASTE AND CROSS–CONNECTION COORDINATOR.

2. ALL EXISTING PAVED APRONS FOR EXISTING DRIVEWAYS SHALL BE REMOVED FROM MIDYETTE ROAD R/W.

3. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

4. ALL DISABLED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS AND THESE PLANS.

5. CONTRACTOR SHALL PROVIDE BOLLARDS AT DUMPSTER AREAS PER CITY SOLID WASTE DEPARTMENT REQUIREMENTS.

6. ALL INFRASTRUCTURE SHALL BE COMPLETED IN THE FIRST PHASE AS SHOWN. BUILDINGS A, C–1 AND D SHALL BE COMPLETED IN THE FIRST PHASE (39 UNITS). AREAS SHOWN AS FUTURE PARKING OR FUTURE BLDGS SHALL BE CLEARED, GRADED AND STABILIZED AS INDICATED ON PLANS AT COMPLETION OF PHASE 1.

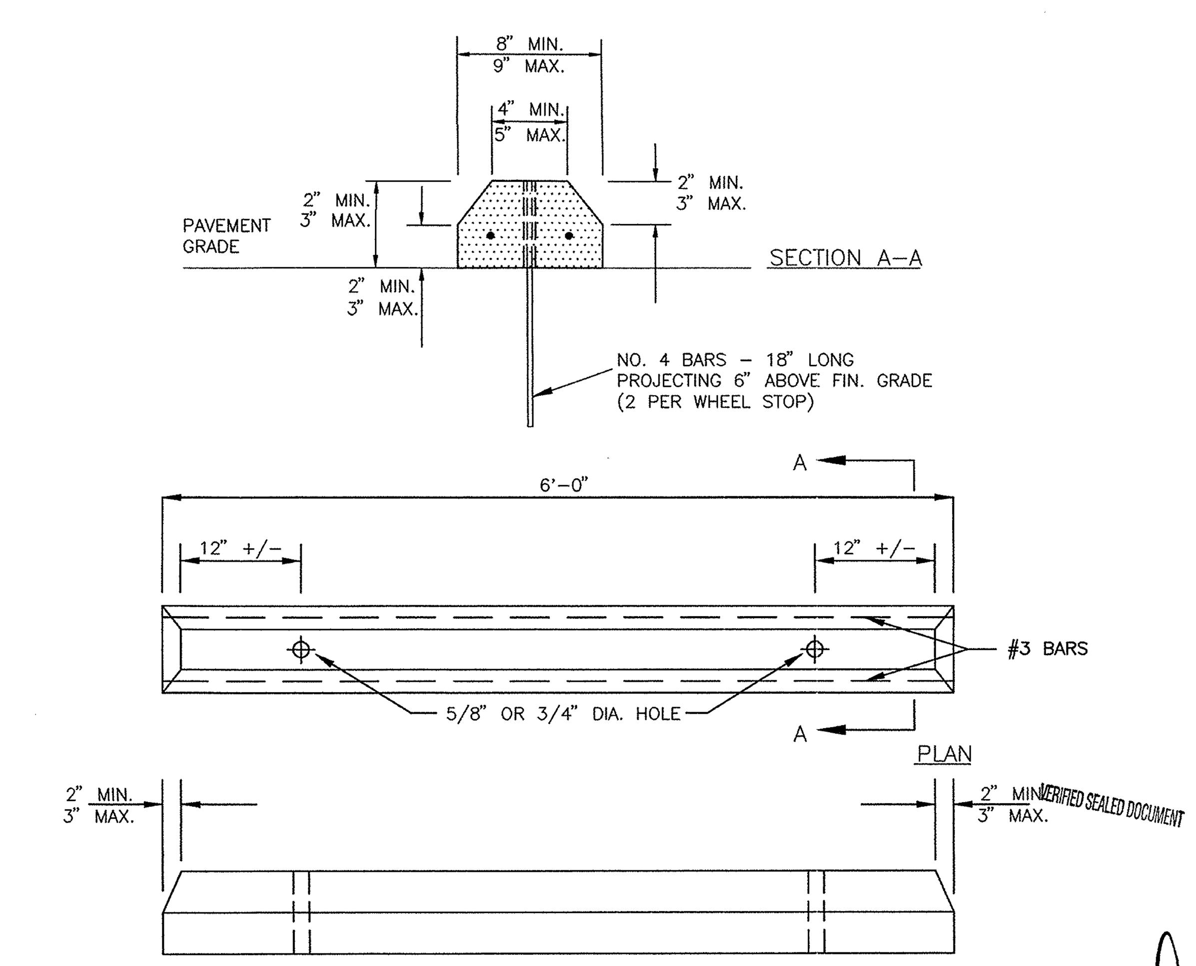
7. LAYOUT DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF PAVEMENT WHERE NO CURB IS PROPOSED, OUTSIDE FACE OF BUILDINGS, AND ASPHALT / CONCRETE TRANSITION POINTS.

8. DOCUMENTATION OF THE ESTABLISHMENT AND RECORDING OF THE CONDOMINIUM MUST BE SUBMITTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

9. INSTALL STOP SIGNS, BARS AND STOP LETTERING WHERE INDICATED. MARKINGS SHALL BE INSTALLED USING THERMOPLASTIC MATERIALS PER CURRENT FDOT STANDARDS.

10. CONCRETE STEPS SHALL BE CONSTRUCTED WHERE INDICATED PER FDOT INDEX 520. REFER TO GRADING PLAN FOR ELEVATIONS.

11. WARNING SIGN INDICATED AT ENTRANCE TO PARKING AREA TO READ " VISITORS MUST PARK IN DESIGNATED VISITOR SPACES. VIOLATORS WILL BE TOWED".



WHEEL STOP DETAIL

NOT TO SCALE

ELEVATION

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	06/05/02
DRAWN BY:		
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
	Jun 25, 2002 – 15:26:40 JLIGHTEL(X:\Em\03672\03\Rev02\36720303.dwg			

WilsonMiller

WilsonMiller, Inc. – FL Lic# LC-C000170 WilsonMiller, Inc. – Certificate of Authorization #43

Planners • Engineers • Ecologists • Surveyors • Landscape Architects • Transportation Consultants

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1311 Executive Center Drive, Suite 100 • Tallahassee, Florida 32301 • Phone 850-878-5001 • Fax 850-878-5941 • Web-Site www.wilsonmiller.com

CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

DATE: JUNE 5, 2002

HORIZONTAL SCALE: 1" = 30'

VERTICAL SCALE: N/A

SEC: 04 TWP: 1S RGE: 1E

TITLE: SITE LAYOUT PLAN

CROSS REFERENCE FILE NO.:

PROJECT NUMBER: 03672-000-000

LICENSE #

INDEX NUMBER: D-03672-03

SHEET NUMBER: 3 OF 11

7-15-02

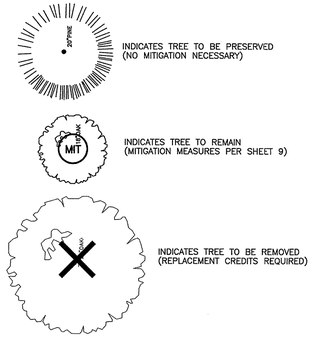
PROPOSED IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY

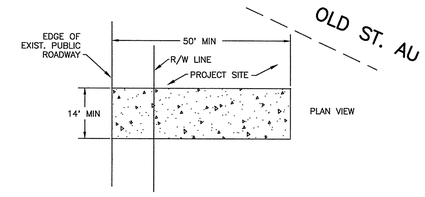
INSTALL STAKED HAYBALE DITCH BLOCKS EVERY 50' WHERE INDICATED

CONTRACTOR IS RESPONSIBLE TO SAFELY REMOVE ALL EXISTING TREES AND IMPROVEMENTS (WITH EXCEPTION OF CITY POWER POLES) WITHIN CLEARING LIMITS INDICATED. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH CITY ELECTRIC DEPARTMENT REGARDING POLE REMOVAL IF REQUIRED. REFER TO SHEET 2 FOR ALL EXISTING IMPROVEMENTS SURVEYED. TREE ROOTS, BUILDING FOUNDATIONS AND ALL OTHER SUBSURFACE PORTIONS OF EXISTING IMPROVEMENTS SHALL BE COMPLETELY REMOVED.

ALL EXISTING DRIVEWAY APRONS ALONG PROJECT FRONTAGE SHALL BE NEATLY SAWCUT FOLLOWING EDGE OF EXISTING ROADWAY FOR REMOVAL.

TREE LEGEND

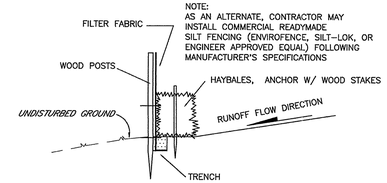




CONSTRUCTION ENTRANCE / EXIT SHALL CONSIST OF A 6" LAYER OF MIN. 1" – 2" ø STONE. THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD OR SEDIMENTS ONTO THE PUBLIC STREETS OR GUTTERS. PERIODIC TOP DRESSING WITH STONE WILL BE NECESSARY AND AN ADEQUATE SUPPLY SHOULD BE HANDY. ANY SEDIMENTS OR MUD SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE CLEANED UP IMMEDIATELY.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



NOTE:
AS AN ALTERNATE, CONTRACTOR MAY INSTALL COMMERCIAL READYMADE SILT FENCING (ENVIROFENCE, SILT-LOK, OR ENGINEER APPROVED EQUAL) FOLLOWING MANUFACTURER'S SPECIFICATIONS

1. EXCAVATE 6" DEEP BY 6" WIDE TRENCH ALONG UPHILL SIDE OF PROPOSED SILT FENCE LOCATION.
2. DRIVE 6' LONG, 2" BY 2" WOOD POSTS A MINIMUM OF 18" INTO UNDISTURBED GROUND ALONG DOWNHILL SIDE OF TRENCH. POSTS SHALL BE PLACED A MAXIMUM OF 4' CENTER TO CENTER.
3. UNROLL FILTER FABRIC ALONG TRENCH, STAPLING TO UPHILL SIDE OF POSTS. 12" OF FABRIC SHALL EXTEND INTO TRENCH, 6" VERT. AND 6" HORIZ.
4. BACKFILL TRENCH WITH EXCAVATED MATERIAL AND COMPACT.
5. INSTALL STAKED HAYBALES CONTINUOUS ALONG UPHILL SIDE OF FENCE.
6. DETAIL SHOWN IS FOR STD. DUTY SILT FENCE. FOR HEAVY DUTY SILT FENCE, WOOD STAKES SHALL BE REPLACED BY 4" X 4" POSTS WITH HOG WIRE FENCING.

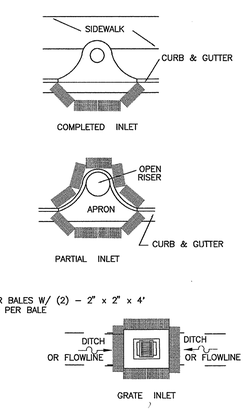
SILT FENCE DETAIL

NOT TO SCALE

SEDIMENTATION AND EROSION CONTROL MEASURES INDICATED ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL MEASURES THROUGHOUT THE CONSTRUCTION SEQUENCE. CONTRCATOR SHALL AUGMENT MEASURES SHOWN BASED ON FIELD CONDITIONS OR INSPECTOR'S REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO ASSURE PROTECTION OF ADJACENT PROPERTIES FROM SEDIMENTATION.

EROSION CONTROL OFFICER:

JACK GREEN. II
LINDERAND, INC.
PO BOX 14435
TALLAHASSEE, FL 32317
(850) 894–6035



HAY BALE SEDIMENT CONTROL DETAIL

NOT TO SCALE

CONSTRUCTION SEQUENCE

1. POST PERMIT PLACARD(S).
2. DESIGNATE STAGING AREAS, REFUELING AREAS AND STOCKPILE AREAS; LOCATE IN APPROPRIATE AREAS CONSIDERING PUBLIC SAFETY AND WATERCOURSES.
3. ESTABLISH SAFE PEDESTRIAN AND VEHICULAR TRAFFIC PATTERNS AROUND CONSTRUCTION AREA. INSTALL BARRICADES AND SIGNAGE AS NECESSARY TO PROTECT PUBLIC IN VICINITY OF CONSTRUCTION.
4. SET UP AND ATTEND PRECONSTRUCTION MEETING WITH ALL APPROPRIATE CITY OF TALLAHASSEE REPRESENTATIVES. THE CONTRACTOR SHALL REQUEST AN ONSITE PRE–CONSTRUCTION CONFERENCE WITH C.O.T. ENVIRONMENTAL SERVICES DIVISION PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. INSTALL SEDIMENTATION CONTROL MEASURES. CONTACT CITY SITE CONSTRUCTION INSPECTOR TO REVIEW AND APPROVE MEASURES PRIOR TO COMMENCING CLEARING OPERATIONS. CONSTRUCTION ACTIVITY SHALL NOT COMMENCE UNTIL THE SEDIMENT CONTROLS HAVE BEEN INSPECTED AND APPROVED BY THE CITY ENVIRONMENTAL INSPECTOR. ARBORICULTURAL MITIGATION REQUIREMENTS SHALL COMMENCE PRIOR TO ANY SITE CLEARING.
6. CLEAR & GRUB SUFFICIENT TO CONSTRUCT SWMF. CONSTRUCT SWMF AND OUTFALL. PROVIDE TEMPORARY PLUG FOR ORIFICE. PROVIDE TEMPORARY MOUNDED SAND FILTER.
7. PERFORM DEMOLITION ACTIVITIES AND CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS. DISPOSE OF DEBRIS OFFSITE APPROPRIATELY.
8. REMOVE AND REPLACE ANY UNSUITABLE SOILS TO 5' OUTSIDE PROPOSED PAVEMENT EDGE.
9. INSTALL UTILITIES & CONDUITS AND COMPACT SUBGRADE AS SPECIFIED.
10. INSTALL PAVEMENT BASE & CURB.
11. INSTALL DUMPSTER PAD, SIDEWALKS AND CONCRETE PARKING; INSTALL ASPHALT AND WHEEL STOPS.
12. INSTALL PAVEMENT STRIPING, LANDSCAPING AND SIGNAGE.
13. REMOVE ANY REMAINING CONSTRUCTION DEBRIS AND SILT FROM SITE. THOROUGHLY FLUSH STORM STRUCTURES. CONTACT ENGINEER WITH MIN. 48 HRS NOTICE TO OBSERVE SAND FILTER INSTALLATION. CONSTRUCT PERMANENT SAND FILTER. REMOVE TEMPORARY FILTER. REMOVE TEMPORARY PLUG FROM ORIFICE.
14. OBTAIN AS BUILT SURVEY AS REQUIRED FOR FINAL ACCEPTANCE AND SUPPLY COPIES TO ENGINEER. CONTACT ENGINEER FOR REQUIREMENTS.
15. REMOVE SEDIMENTATION CONTROLS FOLLOWING APPROVAL BY CITY INSPECTOR.

VERIFIED SEALED DOCUMENT

7-15-02

△REV NO.	REVISION		DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	PER CITY LUES COMMENTS		6/20/02	C.BIBLER	

Jun 25, 2002 – 15:27:04 JLIGHTEL(K:\Env\03672\03\Rev02\36720304.dwg

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	6/5/02
DRAWN BY:	CSB	06/05/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

WilsonMiller

WilsonMiller, Inc. - FL Lic# LC-C000070
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Naples • Fort Myers • Sarasota • Bradenton • Tampa • Tallahassee
1311 Executive Center Drive, Suite 100 • Tallahassee, Florida 32301 • Phone 850-878-2001 • Fax 850-878-3941 • Web-Site www.wilsonmiller.com

CLIENT: LINDERAND, INC.

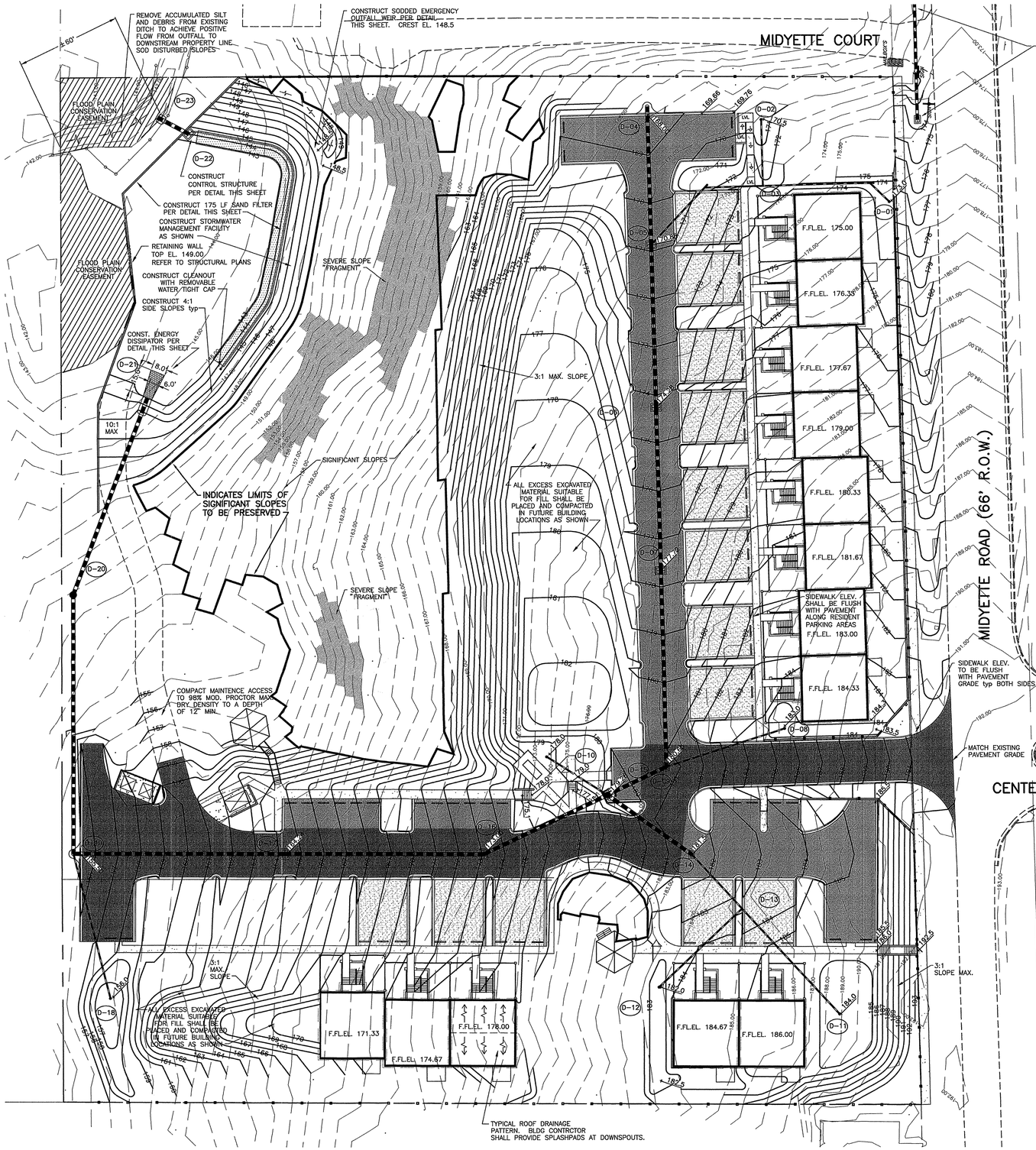
PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

DATE: JUNE 5, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.:

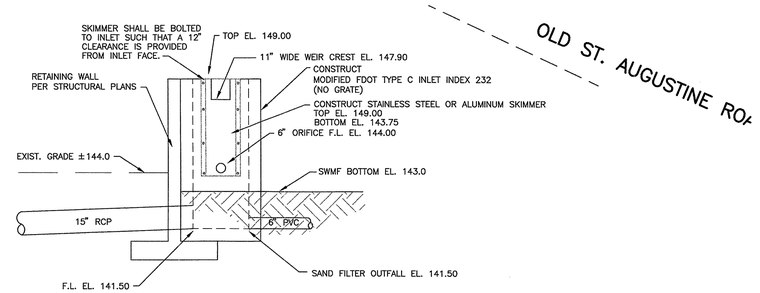
TITLE: DEMOLITION/EROSION CONTROL PLAN

PROJECT NUMBER: 03672–000–000

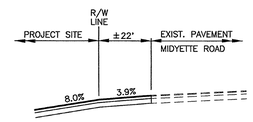
DAVID P. VAN LEUVEN, P.E.
LICENSE #
INDEX NUMBER: D–03672–03
SHEET NUMBER: 4 OF 11



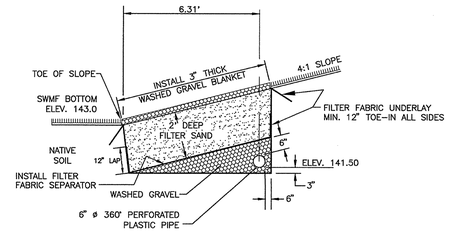
REGENCY DEVELOPER SHALL REMOVE EXISTING DRIVEWAY CULVERTS WITHIN MIDYETTE RIGHT OF WAY AND PROVIDE SODDED SWALE AND SIDEWALK PER SECTION THIS SHEET



DETAIL OF CONTROL STRUCTURE (D-22)
NOT TO SCALE

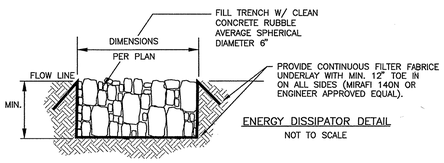


PROPOSED DRIVEWAY PROFILE
1" = 30' H
1" = 15' V



SAND FILTER INSTALLATION DETAIL
NOT TO SCALE

1. GRAVEL SHALL BE COARSE AGGREGATE MEETING FDOT INDEX 286.
2. FILTER SAND SHALL BE CLEAN SELECT QUARTZ SAND WITH < 1% SILT, CLAY OR ORGANIC MATTER, COEFFICIENT OF UNIFORMITY OF SAND 1.5 < Cu < 4.0, AND EFFECTIVE GRAIN SIZE OF 0.2 TO 0.55 mm DIA.; IN CONFORMANCE WITH F.A.C. 17-25 REQUIREMENTS.
3. CLEANOUTS TO BE PROVIDED AS SHOWN ON PLAN.
4. PERFORATED PIPE TO BE USED IN FILTER BED ONLY. CLEANOUTS AND CONNECTIONS TO INLET SHALL BE PVC OR NON-PERF HDPE.
5. FILTER FABRIC SHALL BE MIRAFI 140N OR ENGINEER APPROVED EQUAL.
6. NO FILTER FABRIC SHALL BE PLACED BETWEEN 3" GRAVEL BLANKET AND SAND.
7. REFER TO FDOT INDEX 286 FOR CLEANOUT CONSTRUCTION.
6. CLEANOUT TOPS SHALL BE AT OR ABOVE ELEVATION 144.00.



ENERGY DISSIPATOR DETAIL
NOT TO SCALE

GENERAL NOTES:

1. FILL PLACED IN LOCATION OF FUTURE BUILDINGS SHALL BE PLACED AND COMPACTED PER REQUIREMENTS FOR BUILDING AREAS AS SPECIFIED IN GEOTECHNICAL REPORT.

2. REFER TO LATEST EDITION FDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR STORM SEWER BEDDING AND TRENCHING REQUIREMENTS. REFER TO CITY OF TALLAHASSEE SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION DATED APRIL 2002 FOR BEDDING AND TRENCHING REQUIREMENTS FOR UTILITIES.

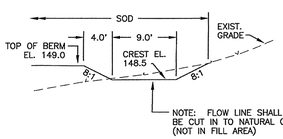
3. ALL FILL SHALL BE PLACED IN LEVEL LIFTS IN MAX. DEPTH AS SPECIFIED IN GEOTECHNICAL REPORT.

4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICULAR SAFETY IN THE VICINITY OF CONSTRUCTION THROUGHOUT THE CONSTRUCTION SEQUENCE.

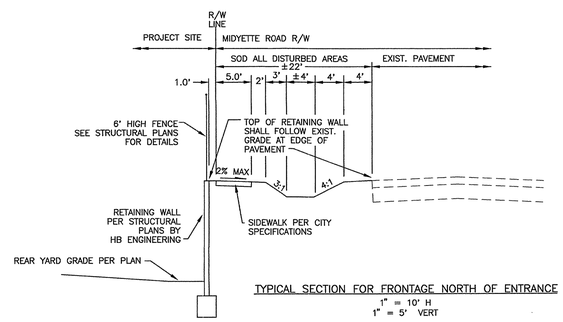
5. CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE CITY RIGHT OF WAY WITH THE CITY STREETS AND DRAINAGE DEPARTMENT.

6. ALL PERVIOUS DISTURBED AREAS SHALL BE SODDED EXCEPT AS INDICATED ON LANDSCAPE PLAN.

7. WALL GREATER THAN 3' IN HEIGHT MAY NOT BE CONSTRUCTED WITHOUT A BUILDING PERMIT. CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMIT TO CONSTRUCT WALLS.



EMERGENCY OVERFLOW WEIR DETAIL
NOT TO SCALE



TYPICAL SECTION FOR FRONTAGE NORTH OF ENTRANCE
1" = 10' H
1" = 5' VERT

VERIFIED SEALED DOCUMENT

7-15-02

△REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	PER CITY LUES COMMENTS	6/20/02	C.BIBLER	

Jun 25, 2002 – 15:27:38 JLIGHTEL(X:\Env\03672\03\Rev02\36720305.dwg

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	6/5/02
DRAWN BY:	CSB	6/5/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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1311 Executive Center Drive, Suite 100 • Tallahassee, Florida 32301 • Phone 850-878-5001 • Fax 850-878-5941 • Web-Site www.wilsonmiller.com

CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

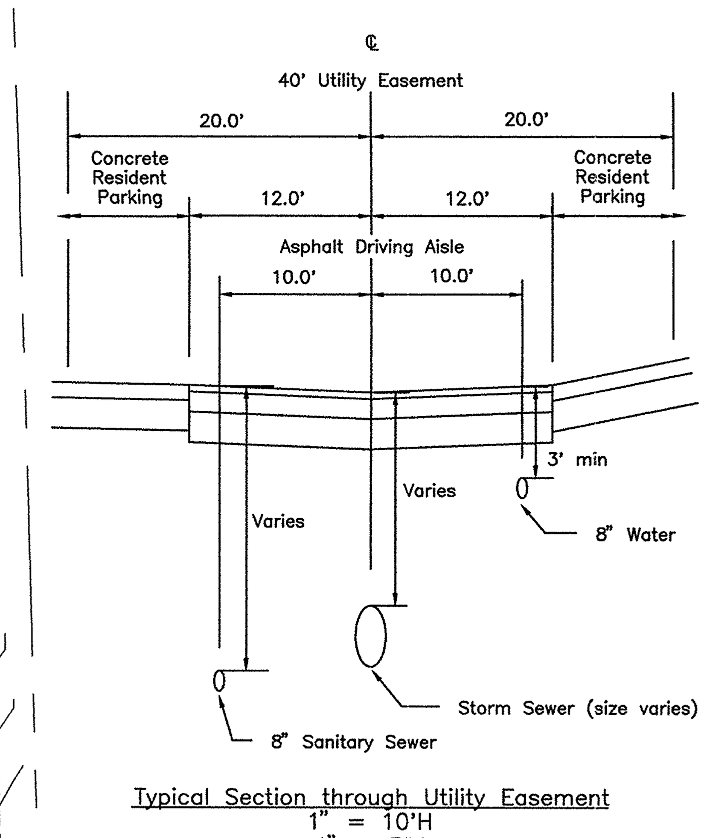
DATE: JUNE 5, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E

TITLE: GRADING PLAN

CROSS REFERENCE FILE NO.:

PROJECT NUMBER: 03672-000-000

LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 5 OF 11



Typical Section through Utility Easement
1" = 10'H
1" = 5'V

DRAINAGE STRUCTURE SCHEDULE						
STR #	TYPE	FDOT INDEX	TOP EL.	FL. EL.	FROM	LENGTH & TYPE
D-01	18" HDPE YARD DRAIN		173.00	170.00	D-01 to D-03	74 LF 12" HDPE
D-02	12" HDPE YARD DRAIN		170.50	167.50	D-02 to D-03	37 LF 8" HDPE
D-03	HDPE TEE		N/A	167.13	D-03 to D-05	75 LF 12" HDPE
D-04	P4 CURB INLET	201,210	168.33	163.83	D-04 to D-05	76 LF 15" RCP
D-05	V GUTTER INLET ALT G	221	170.88	166.38 (12") 163.53 (15")	D-05 to D-06	89 LF 15" RCP
D-06	V GUTTER INLET ALT G	221	174.28	163.17 (15") 162.92 (18")	D-06 to D-07	89 LF 18" RCP
D-07	V GUTTER INLET ALT G	221	177.72	162.65 (18") 162.15 (24")	D-07 to D-09	108 LF 24" RCP
D-08	12" HDPE YARD DRAIN		183.00	180.00	D-08 to D-09	69 LF 8" HDPE
D-09	V GUTTER INLET ALT G W/ J BOTTOM	221,201	180.65	177.50 (8") 161.92 (24")	D-09 to D-15	36 LF 24" RCP
D-10	12" HDPE YARD DRAIN		178.00	175.00	D-10 to D-15	40 LF 8" HDPE
D-11	12" HDPE YARD DRAIN		184.00	181.00	D-11 to D-13	79 LF 8" HDPE
D-12	12" HDPE YARD DRAIN		182.00	179.00	D-12 to D-13	62 LF 8" HDPE
D-13	HDPE TEE		N/A	178.70	D-13 to D-14	41 LF 12" HDPE
D-14	V GUTTER INLET ALT G	221	181.50	177.50	D-14 to D-15	57 LF 15" RCP
D-15	E GRATE INLET W/ TRAVERSABLE SLOT		179.40 SLOT 178.82	175.00 (15") 174.80 (8") 160.40 (24")	D-15 to D-16	75 LF 24" RCP
D-16	V GUTTER INLET ALT G W/ J BOTTOM	221,201	173.00	158.25	D-16 to D-17	110 LF 24" RCP
D-17	V GUTTER INLET ALT G	221	164.24	158.42	D-17 to D-19	117 LF 24" RCP
D-18	18" HDPE YARD DRAIN		156.00	153.00	D-18 to D-19	82 LF 12" HDPE
D-19	P4 CURB INLET	201,210	155.88	150.88	D-19 to D-20	142 LF 24" RCP
D-20	STORM MANHOLE	201	151.50	146.50	D-20 to D-21	115 LF 24" RCP
D-21	CONC. M.E.S.	272	N/A	143.00	N/A	N/A
D-22	C GRATE INLET (MOD)	232	149.00	141.50	D-22 to D-23	20 LF 15" RCP
D-23	CONC. MES	272	N/A	141.00	N/A	N/A

SANITARY SEWER STRUCTURE SCHEDULE					
STR #	TYPE	TOP EL.	INV. EL.	FROM	LENGTH & TYPE
SS-12	SANITARY MANHOLE	171.11	166.11	SS-12 to SS-11	318.81 LF 8" PVC
SS-11	SANITARY MANHOLE	180.32	164.83	SS-11 to SS-10	333.27 LF 8" PVC
SS-20	SANITARY MANHOLE	155.50	139.58	SS-20 to SS-10	144.10 LF 8" PVC
SS-10	SANITARY MANHOLE	156.50	139.00	SS-10 to SS-0	126.19 LF 8" PVC
SS-0	SANITARY MANHOLE	150.95	137.90 (NEW) 137.80 (EX.)	N/A	N/A

NOTE:
ALL PIPE MEASUREMENTS ARE TO CENTERLINE OF STRUCTURES.

GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION SHALL STRICTLY ADHERE TO CITY OF TALLAHASSEE SPECIFICATIONS FOR WATER & SEWER UTILITY DATED APRIL 1, 2002. REFER TO SPECIFICATIONS FOR ALL DETAILS. SPECIFICATIONS ARE AVAILABLE FOR PURCHASE AT THE WATER UTILITY DEPARTMENT, ENGINEERING & INSPECTION DIVISION. REFER TO SPECIFICATIONS FOR REQUIRED TESTING AND CERTIFICATIONS.

2. BACKFLOW PREVENTION DEVICES ARE REQUIRED TO MEET CITY OF TALLAHASSEE CROSS-CONNECTION CONTROL DEPARTMENT SPECIFICATIONS. FIRE LINES TO BUILDINGS SHALL BE EQUIPPED WITH DOUBLE DETECTOR CHECKS. WATER SERVICES SERVING 3RD FLOORS SHALL BE EQUIPPED WITH BACKFLOW PREVENTERS. IRRIGATION LINE SHALL BE EQUIPPED WITH RPZ.

3. CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF EXISTING UTILITIES AND TO CONTACT UNIVERSAL LINE LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY IF CONSTRUCTION CONFLICTS EXIST WHICH ARE NOT INDICATED ON PLANS.

4. ALL WATER SERVICES TO METER BANKS SHALL BE 2" MIN.

5. REFER TO FIRE PROTECTION DESIGN PLANS FOR FIRE LINE SIZES.

6. CONTRCTOR SHALL INSTALL WATER SERVICE LINES AND SHUT OFF VALVES. CITY SHALL INSTALL MANIFOLD AND METERS W/ BOXES.

7. CONTRACTOR SHALL INSTALL SANITARY SEWER SERVICE LINES AS INDICATED. SERVICES FOR FUTURE BLDGS SHALL BE MARKED WITH LOCATOR PIPE AND EMS PER CITY SPECS.

8. UTILITY EASEMENT SHOWN IS FOR CITY ACCESS TO MAINS. FINAL EASEMENT LOCATION SHALL PROVIDE FOR CITY ACCESS TO WATER METERS.

9. REFER TO PLAN PROFILE SHEETS FOR SANITARY SEWER CONSTUCTION AND STATIONING OF WATER SERVICE LINES.

VERIFIED SEALED DOCUMENT

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
2	Change water meter locations, add fire lines, add service table	7/15/02	C.BIBLER	
1	PER CITY LUES COMMENTS	6/20/02	C.BIBLER	

Jul 15, 2002 – 08:12:13 JLIGHTELJ:\Env\03672\03\Rev02\36720306.dwg

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	6/15/02
DRAWN BY:	CSB	6/5/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

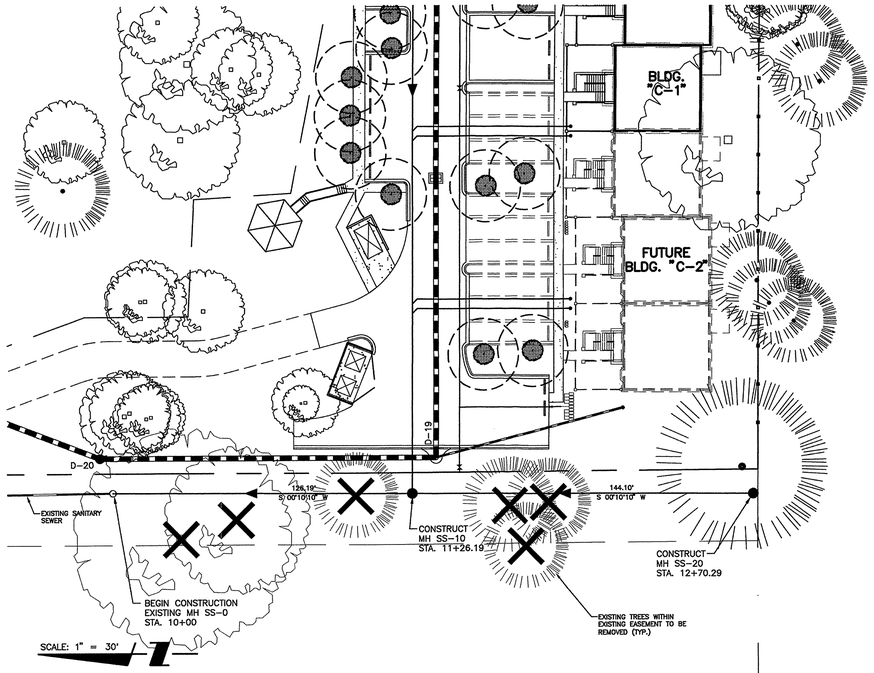
PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

DATE: JULY 15, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E

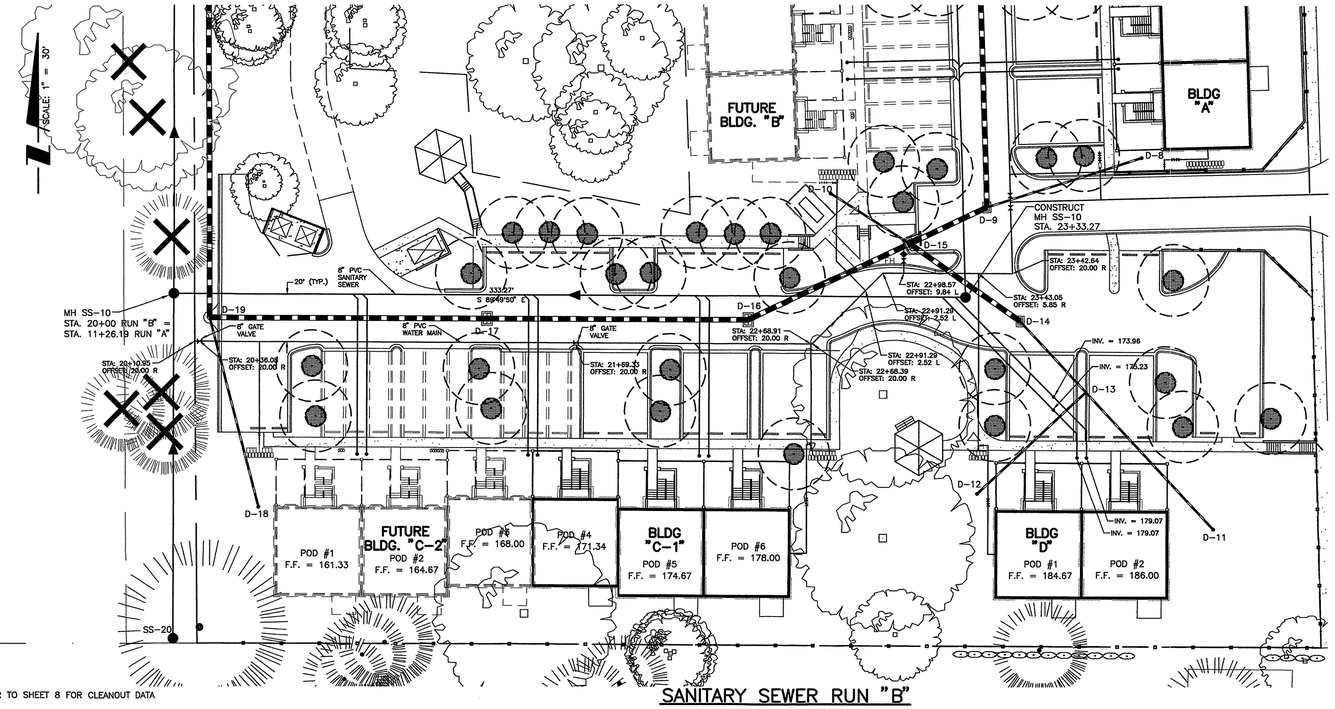
TITLE: UTILITY PLAN

CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-000

LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 6 OF 11

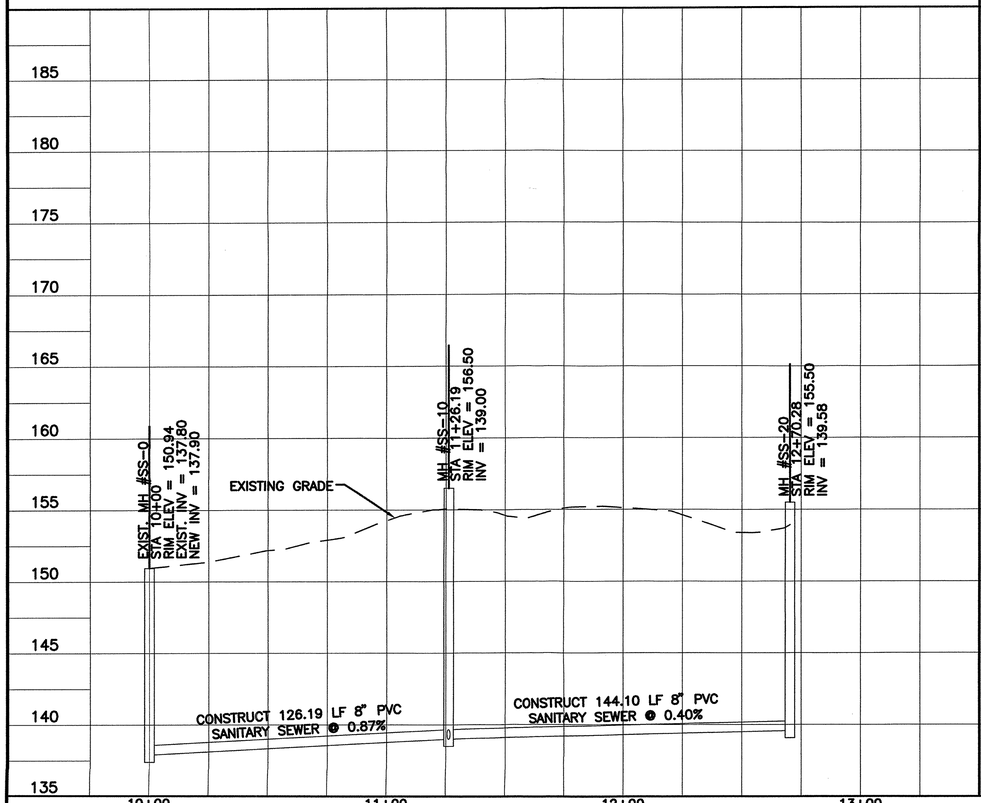


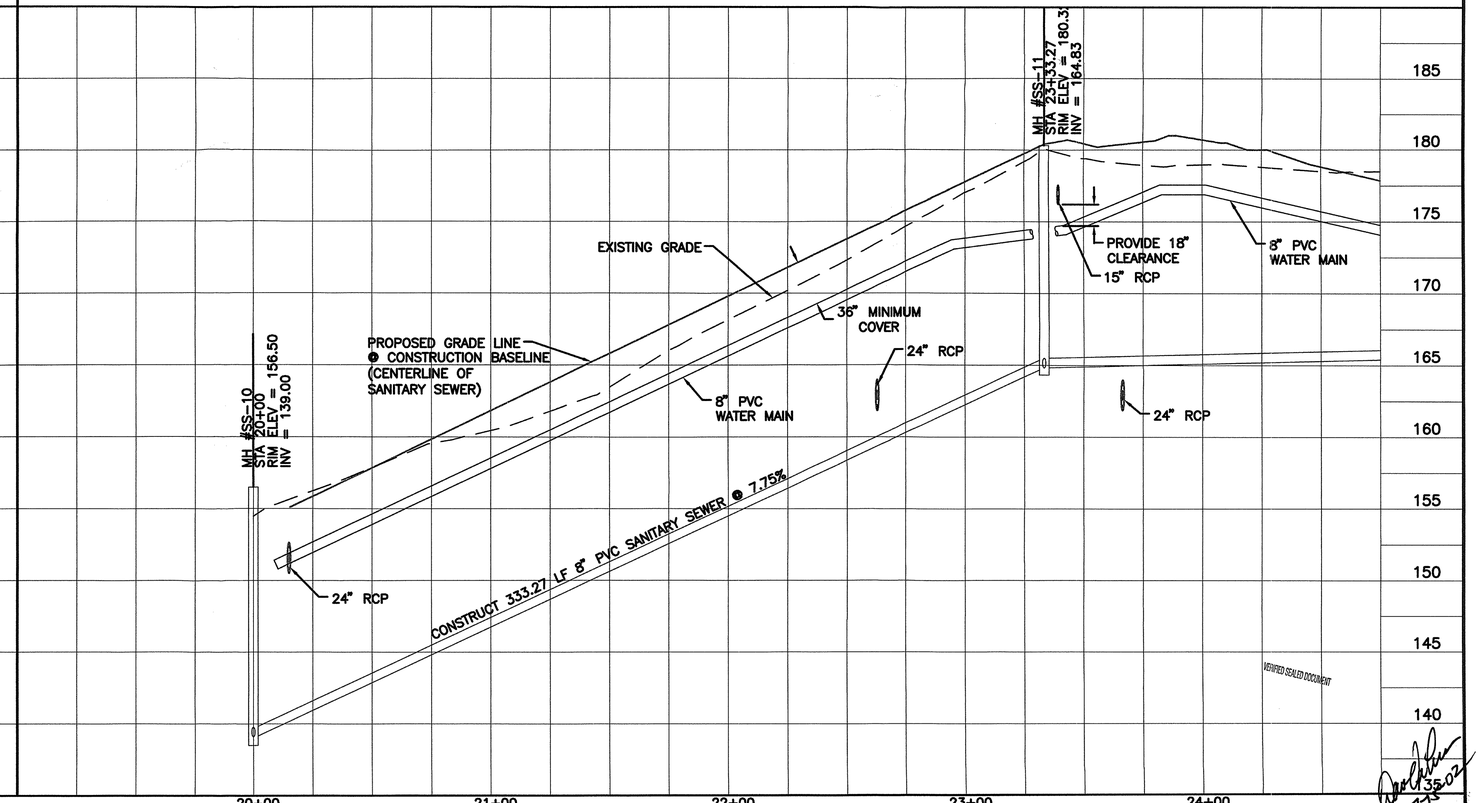
SANITARY SEWER RUN "A"



NOTE: REFER TO SHEET 8 FOR CLEANOUT DATA

SANITARY SEWER RUN "B"





VERIFIED SEALED DOCUMENT

REV NO.	REVISION		DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
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ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	06/18/02
DRAWN BY:	J.M.L./1322	06/18/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

WilsonMiller

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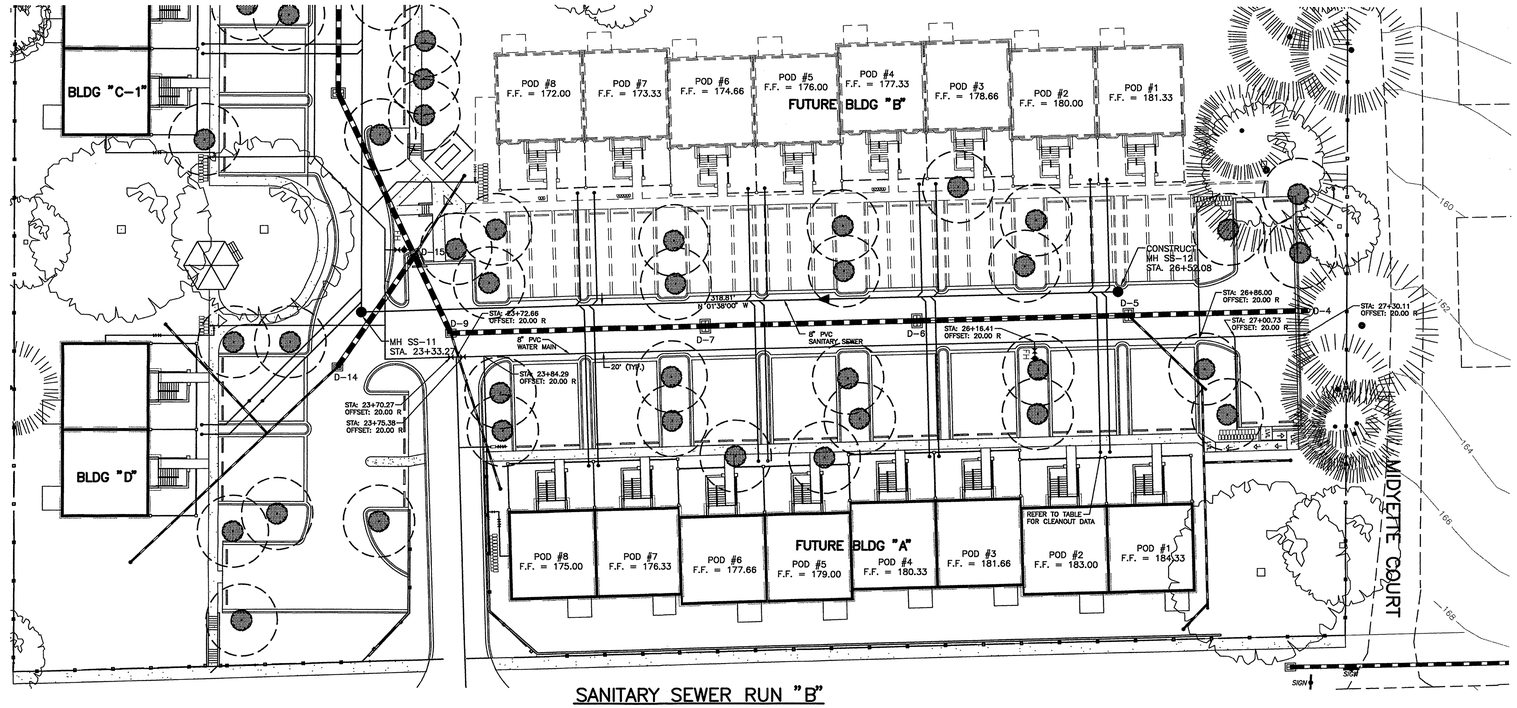
CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

DATE: JUNE, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 5'
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.: D-03672-02
PROJECT NUMBER: 03672-000-000

TITLE: PLAN AND PROFILE
10+00 TO 12+70.29 & 20+00 TO 23+33.27

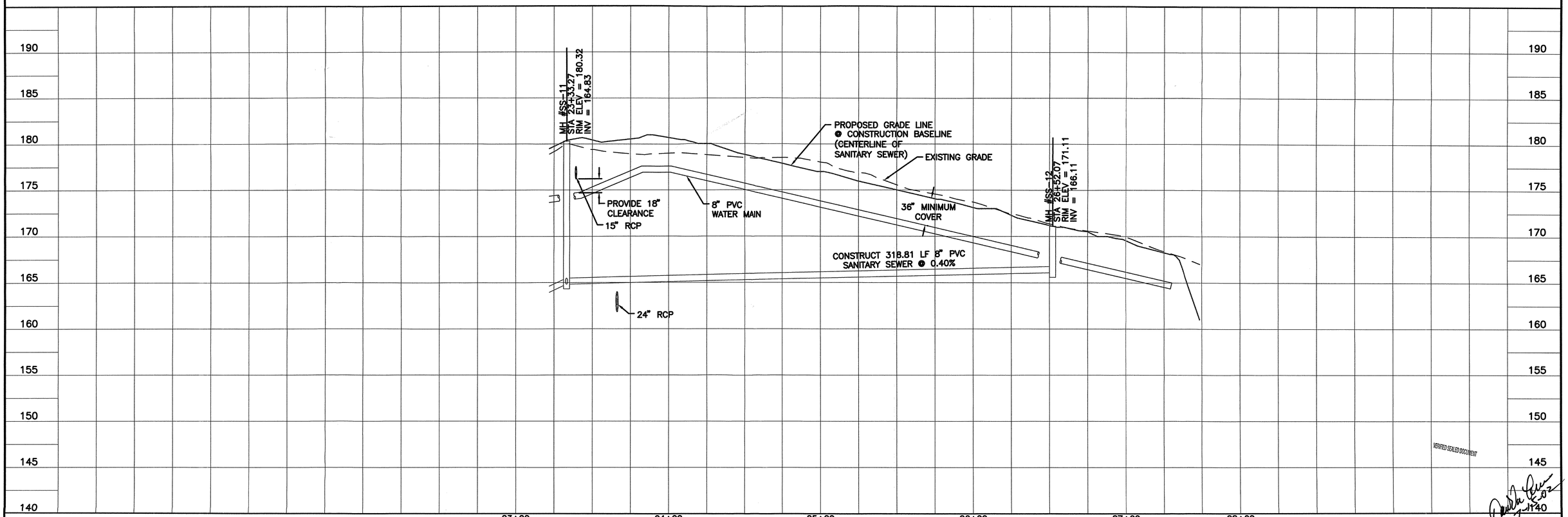
LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 7 OF 11



SANITARY SEWER RUN "B"

CLEANOUT TABLE:

Building	Pod #	Ground Floor Elev	Connection Location (Station)	Cleanout Location (offset)	Cleanout Inv.
A	1	184.33	24+27.08	68'-R	176.73
A	2	183.00	24+31.08	68'-R	175.40
A	3	181.66	24+99.08	68'-R	174.06
A	4	180.33	25+03.08	68'-R	172.73
A	5	179.00	25+71.08	68'-R	171.40
A	6	177.66	25+75.08	68'-R	170.06
A	7	176.33	26+43.08	68'-R	168.73
A	8	175.00	26+47.08	68'-R	167.40
B	1	181.33	24+25.11	48'-L	176.73
B	2	180.00	24+32.11	48'-L	175.40
B	3	178.66	24+97.11	48'-L	174.06
B	4	177.33	25+04.11	48'-L	172.73
B	5	176.00	25+69.11	48'-L	171.40
B	6	174.66	25+76.11	48'-L	170.06
B	7	173.33	26+41.11	48'-L	168.73
B	8	172.00	26+48.11	48'-L	167.40
C	1	161.33	20+77.35	68'-R	153.73
C	2	164.67	20+81.35	68'-R	157.07
C	3	168.00	21+49.35	68'-R	160.40
C	4	171.34	21+53.35	68'-R	163.74
C	5	174.67	22+25.35	68'-R	167.07
C	6	178.00	22+25.35	68'-R	170.40
D	1	184.67	23+23.45	see plan	see plan
D	2	186.00	23+29.03	see plan	see plan



VERIFIED SEALED DOCUMENT

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
	Jul 15, 2002 – 10:36:53 JLIGHTEL[K:\Env\03672\03\Rev02\36720308.dwg			

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	06/18/02
DRAWN BY:	J.M.L./1322	06/18/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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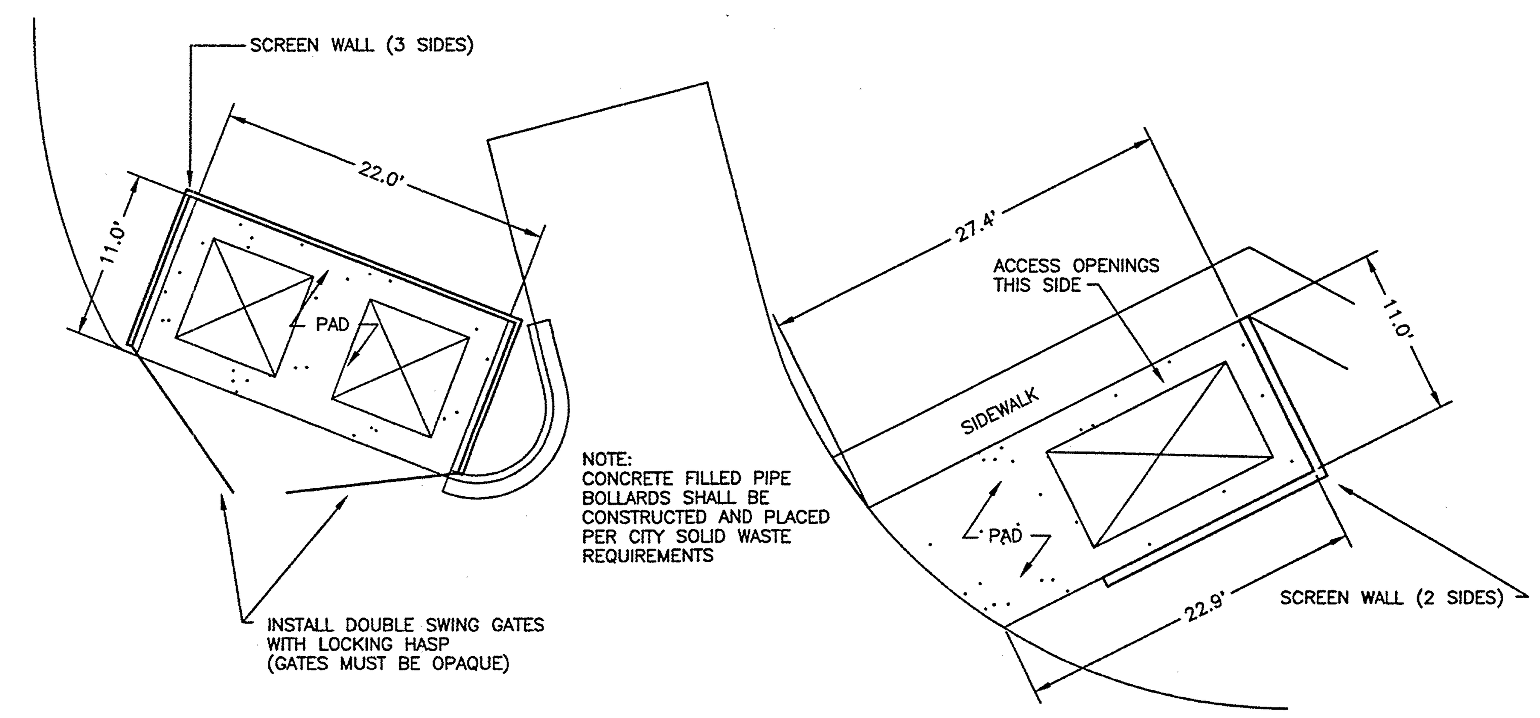
CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

DATE: JUNE, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 5'
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.: D-03672-02
PROJECT NUMBER: 03672-000-000

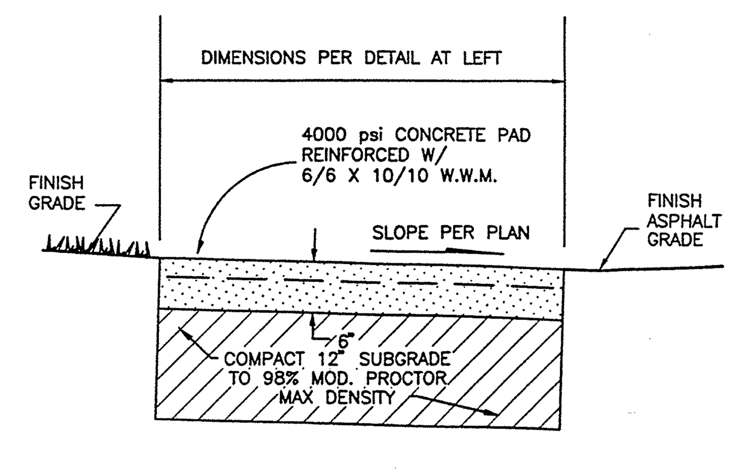
TITLE: PLAN AND PLOTTING
23+33.27 TO 27+48.54

LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 8 OF 11

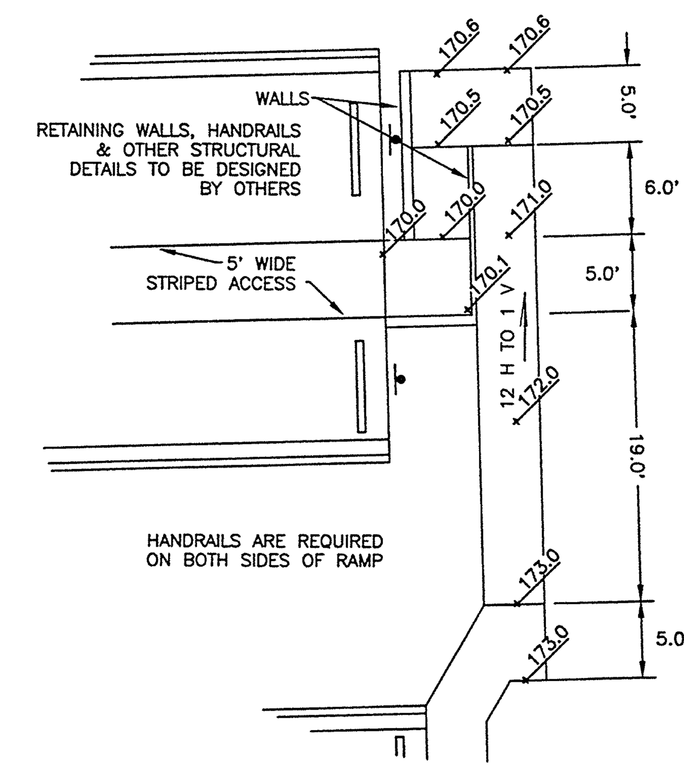


DUMPSTER PAD AREA

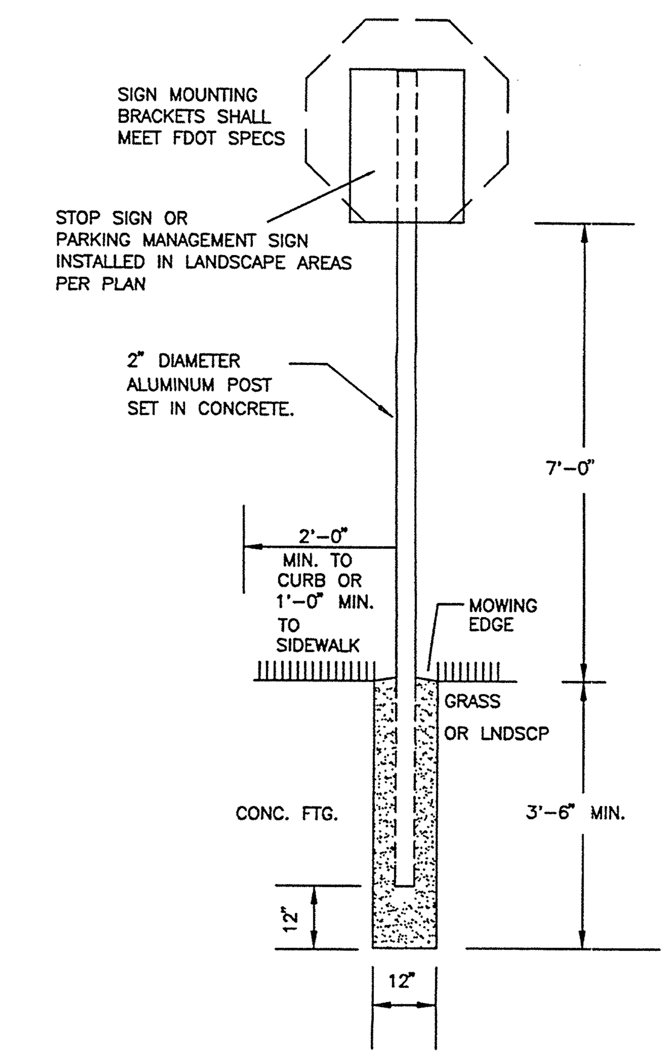
RECYCLE PAD AREA



DUMPSTER AND RECYCLE PAD DETAIL
NOT TO SCALE



HANDICAP RAMP DETAIL
1" = 10'



TRAFFIC SIGNAGE DETAIL
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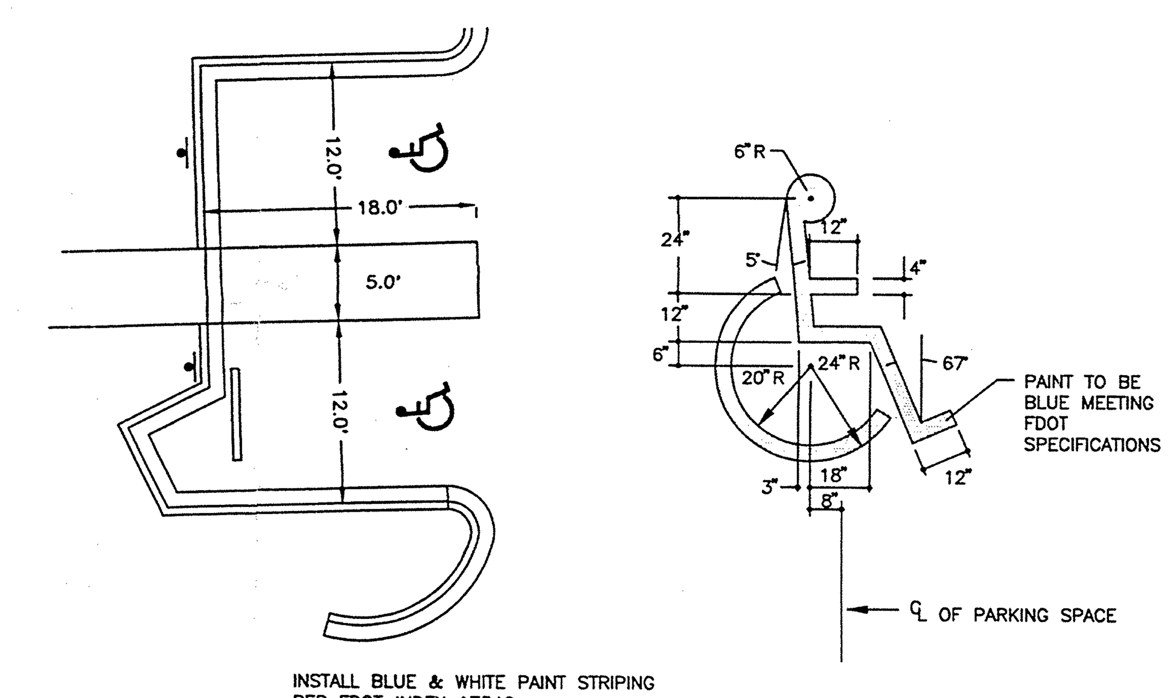

INSTALL BLUE & WHITE PAINT STRIPING PER FDOT INDEX 17346

HANDICAP DISABLED PARKING STRIPING & SYMBOL DETAIL
NOT TO SCALE

VERIFIED SEALED DOCUMENT

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	6/5/02
DRAWN BY:	CSB	6/5/02
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO	CHECKED BY / EMP. NO
	Jun 25, 2002 - 18:52:31 JLIGHTELZK\Em\03672\03\Rev02\36720309.dwg			

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CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASE I – 39 UNITS

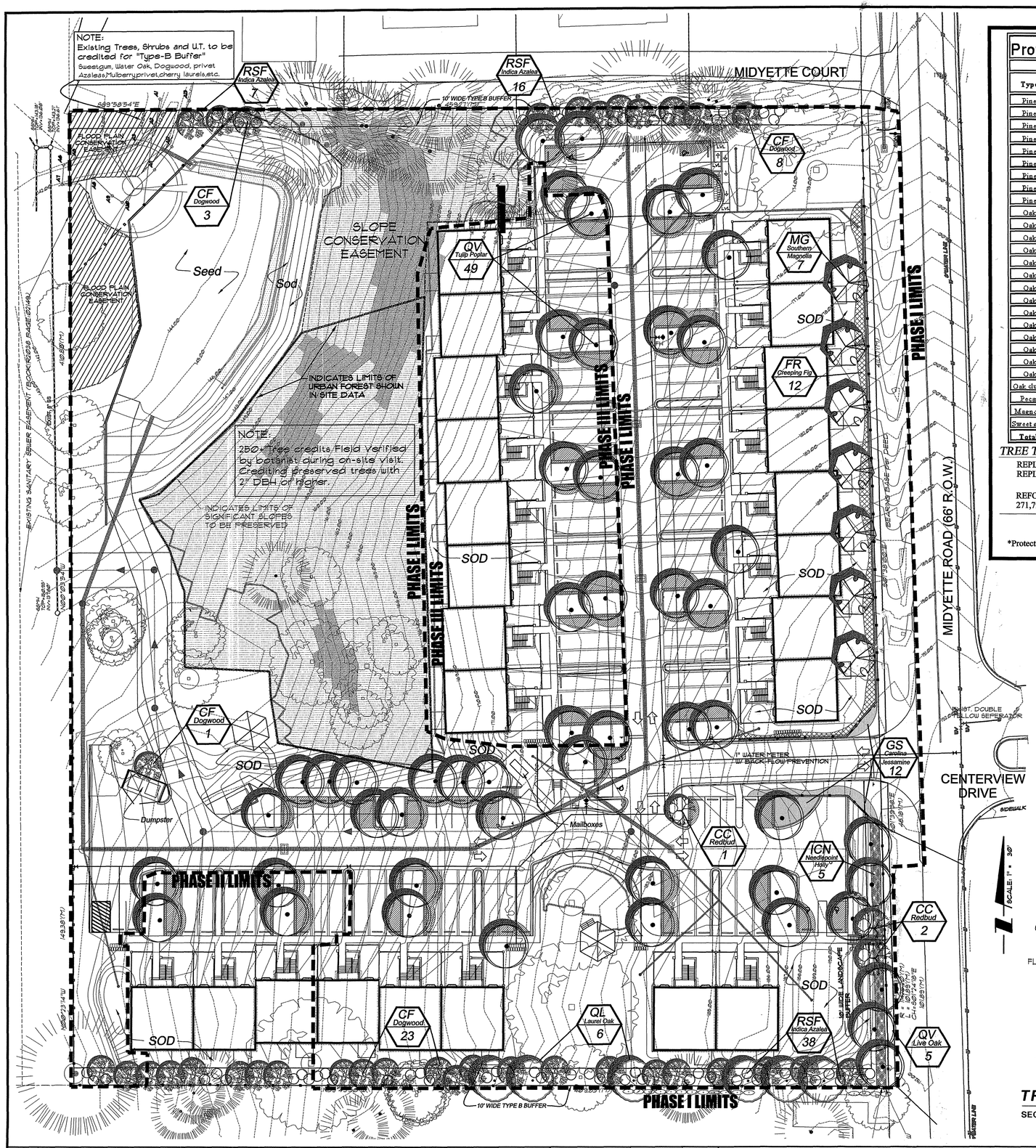
DATE: JUNE 5, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E

TITLE: SITE CONSTRUCTION DETAILS

CROSS REFERENCE FILE NO.:

PROJECT NUMBER: 03672-000-000

LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 9 OF 11



NOTE:
LANDSCAPING SHOWN IS THAT REQUIRED FOR FULL BUILDOUT OF ALL PHASES. ALL LANDSCAPING SHOWN WITHIN PHASE I LIMITS SHALL BE COMPLETED IN PHASE I. AT COMPLETION OF PHASE I, ALL AREAS DISTURBED WITHIN PHASES II AND III SHALL BE SODDED. NO OTHER LANDSCAPING MATERIALS ARE REQUIRED FOR THESE PHASES AT THIS TIME.

Protected Trees Proposed to be Preserved or Removed

		Preserved Trees					Removed Trees		
Type	Diameter	Area	Max.Area Disturbed	Quantity	Credits/ per	Total Credits	Quantity	Debits/ per	Total Debits
Pine	18	1,017.36	254.34	0	6	0	4	6	24
Pine	20	1,256.00	314.00	1	8	8	4	8	32
Pine	22	1,519.76	379.94	1	8	8	0	8	0
Pine	24	1,808.64	452.16	0	8	0	6	8	48
Pine	26	2,122.64	530.66	3	10	30	1	10	10
Pine	28	2,461.76	615.44	0	10	0	1	10	10
Pine	30	2,826.00	706.50	0	10	0	2	10	20
Pine	34	3,629.84	907.46	0	16	0	1	16	16
Pine	36	4,069.44	1,017.36	0	16	0	1	16	16
Oak	20	1,256.00	314.00	1	8	8	0	8	0
Oak	40	5,024.00	1,256.00	1	20	20	2	20	40
Oak	15	706.50	176.63	2	6	12	0	6	0
Oak	8	200.96	50.24	1	4	4	0	4	0
Oak	18	1,017.36	254.34	7	6	42	2	6	12
Oak	30	2,826.00	706.50	1	10	10	3	10	30
Oak	26	2,122.64	530.66	2	10	20	0	10	0
Oak	27	2,289.06	572.27	0	10	0	1	10	10
Oak	24	1,808.64	452.16	0	8	0	2	8	16
Oak	22	1,519.76	379.94	0	8	0	1	8	8
Oak	60	11,304.00	2,826.00	0	28	0	3	28	84
Oak	50	7,850.00	1,962.50	0	28	0	1	28	28
Oak	28	2,461.76	615.44	0	10	0	1	10	10
Oak	42	5,538.96	1,384.74	0	20	0	1	20	20
Oak cluster	18	1,017.36	254.34	0	10	0	1	6	6
Pecan	24	1,808.64	452.16	0	8	0	1	8	8
Magnolia	18	1,017.36	254.34	0	6	0	1	6	6
Sweetgum	20	1,256.00	314.00	1	8	8	0	8	0
Totals		73,180.84	18,295.22	21		170	38		422

TREE TABULATION SUMMARY

REPLACEMENT/ REPLANTING	422 DEBITS	PROTECTED/PRESERVED a) WITH 18" DBH OR HIGHER	170 CREDITS
		b) WITH 2" - 18" DBH *	198 CREDITS
REFORESTATION 271,795 SF (6.01AC)	240 DEBITS	PLANTING 105 @ 2" CAL. = 105 CREDITS	107 CREDITS
		TOTAL	475 CREDITS

*Protected trees are located within the urban forest preserve limits shown on site plan.

SITE DATA

NOTE: FOR REFERENCE, SITE DATA PROVIDED REFLECTS FULL BUILDOUT CONDITIONS. CONSTRUCTION TO BE PERFORMED INDER THIS APPLICATION INCLUDES PHASE I ONLY, CONSISTING OF 39 UNITS AND INFRASTRUCTURE INDICATED.

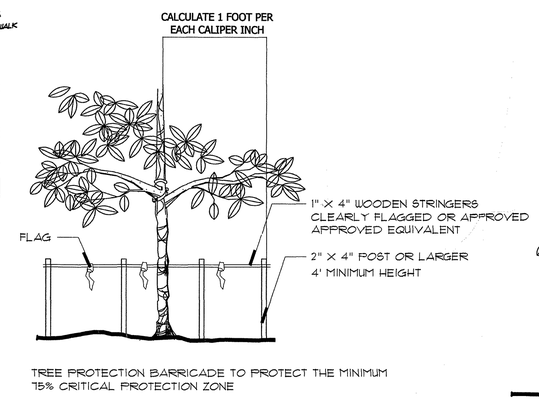
SITE AREA:	6.01 ACRES
ZONING:	HIGH DENSITY URBAN ACTIVITY CENTER
EXISTING USE:	RESIDENTIAL (SINGLE FAMILY)
PROPOSED USE:	RESIDENTIAL (CONDOMINIUM)
NUMBER OF UNITS:	72
DENSITY:	72 / 6.01 = 12 UNITS PER AC*
BUILDING AREA (GROSS):	96,747 SF**
BUILDING AREA (FOOTPRINT):	32,855 SF
BUILDING FOOTPRINT AS A % OF SITE:	12.5%
VEHICULAR USE AREA (VUA):	59,604 SF
VUA AS PERCENT OF SITE:	22.8%
SIDEWALK AREA:	10,472 SF
SIDEWALK AS A % OF SITE:	4.0%
SWMF AREA (INCL. MAINT. ACCESS):	19,859 SF
SWMF AREA AS A PERCENT OF SITE:	7.6%
TOTAL IMPERVIOUS AREA:	102,931 SF
IMP. AREA AS A PERCENT OF SITE:	39.3%
INT. LNDSCP REQ'D. (1 SF / 12.5 SF VUA):	4,768 SF
INTERIOR LANDSCAPE AREA PROV'D:	10,396 SF
URBAN FOREST AREA:	30,341 SF
URBAN FOREST AS A % OF SITE:	11.6%
REGULATED SLOPE AREA:	80,015 SF
SLOPE PRESERVATION AREA:	40,172 SF
SLOPE PRSVN AS A % OF REG. SLOPES:	50.7%
PARKING AREA:	32,418 SF
SHADE AREA REQ'D (30% OF PRKG):	9,725 SF
SHADE AREA PROVIDED:	9,782 SF
TOTAL LANDSCAPE AREA:	139.036 SF***
LANDSCAPE AREA AS A % OF SITE:	53.1%
TOTAL OPEN SPACE (INCL. SWMF):	158,895 SF
TOTAL OPEN SPACE AS A % OF SITE:	60.7%
PARKING REQUIRED:	135 SP MIN. - 180 SP MAX.
PARKING PROVIDED:	165 REGULAR SPACES****
	6 HC SPACES
BIKE PARKING (10% OF CAR PRKG REQ'D):	17 SPACES

*DEVIATION FROM STANDARD OF 16 UNITS PER AC REQUESTED

**INCLUDES MAIL KIOSK AND GAZEBOS

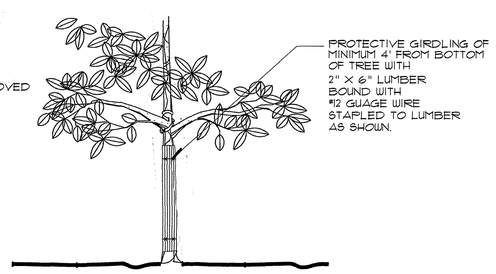
***INCLUDES UNDISTURBED AREAS AND CONSTRUCTED LANDSCAPING

****144 TANDEM RESIDENT SPACES
21 VISITOR SPACES



TREE PROTECTION BARRICADE DETAIL

SECTION — NOT TO SCALE



TREE TRUNK PROTECTION DETAIL

SECTION — NOT TO SCALE

REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	IDENTIFY SIGNIFICANT SLOPE PRESERVATION, REVISE CONSERVATION EASEMENT	4/22/02	C. BIBLER	

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ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	3/28/02
DRAWN BY:	JML/1322	11/28/01
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

PROJECT: REGENCY A CONDOMINIUM PROJECT

DATE: APR. 22, 2002
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 15 RGE: 1E
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-000

TITLE: PLANTING PLAN

LICENSE #
INDEX NUMBER: D-03672-03
SHEET NUMBER: 10 OF 11

ARBORICULTURAL MITIGATION NOTES

TECHNICAL REMOVAL SUBJECT TO ARBORICULTURAL MITIGATION

*All on-site arboricultural mitigation shall be monitored by the Landscape Architect or Certified Arborist.

*Contractors, equipment operators, and workers should be informed of the importance of protecting trees that have been selected for preservation.

ROOT PRUNING

Prior to any site construction , the Landscape Architect or Certified Arborist (NAA or ISA) will identify all areas where root pruning will occur within the CPZ (Critical protection Zone) due to new construction. Exposing of root shall be done with hand tools under the supervision of an Arborist. The exposed roots need to be neatly cut with a sharp saw and to prevent drying out, the severed ends over 3 inches need to be covered with burlap and keep watered until backfilling occurs.

IRRIGATION

Following root pruning and through substantial completion of the project, all protected trees shall be watered by mechanical irrigation or manually at the rate equivalent to 1 inch of water per week. Watering shall be adjusted as required by weather conditions. Provide approved rain gauges on site for verification of application rates.

VERTICAL MULCHING AND FERTILIZATION

Carefully drill lines of 2" diameter holes in a concentric pattern at a depth of 6-8" beneath impacted trees. The holes should be 2 feet apart with inner circles located 5' away from trunk and the outside circle located 5' outside the impacted tree's dripline. The holes will be filled with a mixture of coarse sand and composted organic matter (leaves or grass clippings).
Fertilization to be done using nitrogen based fertilizers applied in slow release forms in light to moderate amounts. Broadcast fertilizer evenly beneath and slightly beyond dripline at a rate of 3 pounds of nitrogen per 1,000 square feet.

UTILITY INSTALLATION

Utilities within the CPZ shall be relocated or installed with tunneling or boring equipment to minimize root damage.

PRUNING

A Qualified arborist shall prepare a tree preservation plan for all indicated trees on-site and perform a "Class 2 Medium Pruning", according to the specifications outlined by the NAA (National arborist Association). No more than 25% of tree's canopy may be removed.

TREE PROTECTION REQUIREMENTS

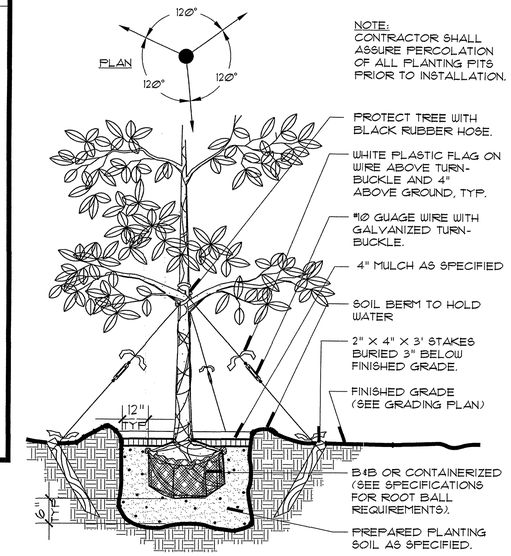
Protective barriers shall be placed around each protected tree at the CPZ or located at minimum impact possible to CPZ. See tree barricade details on sheet 12 for specifications on constructing barricade. Do not remove natural leaf mulch or organic material from beneath the trees. If existing natural materials are scarce, the Landscape Architect or Arborist may specify for supplementing with organic mulch.

GENERAL NOTES FOR LANDSCAPE INSTALLATION

1. All base information has been provided by Owner. Contractor shall verify all information prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
2. Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
3. Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
4. The limits of construction are defined by the 'Project Limit Line' noted on the drawings.
5. Report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
6. Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
8. Contractor shall be responsible to remove existing groundcover for all planting beds as specified prior to planting installation. Contractor shall be responsible to replace all portions of existing lawn areas damaged while completing planting installation with same grass species to the satisfaction of the Owner's Representative.
9. The location of the landscape holding area will be identified by the owner. The contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others.
10. The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests for at the installation area.
11. All plant material shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants", published by the Florida Department of Agriculture and Consumer Services, the project manual and/or specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
12. All trees shall be fertilized with Agriform 21 gram tablets, 20-10--5 slow release analysis, at a rate of 1 tablet per 1/2 inch trunk diameter.
13. All container and caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
15. Any tree with a trunk formed "V" shape crotch will be rejected.
16. Erosion control fabric may be required in all shrub and groundcover planting areas as per specifications for all slopes that exceed 3:1. See grading plans for location of slopes greater than 3:1. This shall be determined in the field with Owner's representative.
17. Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
18. Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
19. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and the Landscape Architect.
20. Contractor shall mulch all new plant material throughout and completely to depth specified.
21. Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plans will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
22. Contractor shall refer to the landscape planting details, plant list, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
23. Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
24. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
25. Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
26. See all grading plans, pavement, walls and site furnishings plans for additional notes, site preparation, and other pertinent information.
27. Landscape Contractor shall apply 100% organic starter fertilizer and a mycorrhizal inoculant i.e. "Dirt&hard transplant" or approved equal to each newly planted shrub, tree or groundcover in accordance to manufacturers recommendations. Contact Horticultural Alliance,Inc. 1-800-628-6313.
28. Landscape Contractor shall treat all planting areas with pre and post emergent herbicides in accordance with the manufacturers recommendations.
29. Landscape Contractor shall fertilize all planting beds with Osmocote 14-14-14 slow release fertilizer in accordance with manufacturers recommendations.
30. Landscape Contractor shall backfill all planting pits with a mixture of 1/2 existing on-site soil and 1/2 approved topsoil.
31. Landscape Contractor shall use a 4" layer of approved topsoil to topdress all planting beds.
32. Landscape contractor shall apply an approved organic mulch at 2 1/2 " compacted thickness. further and complete landscape planting instructions.
33. Landscape Contractor shall become familiar and conform to all requirements and standards outlined in the EMO articles 4.4 and 4.5.
33. Landscape Contractor shall provide a copy of irrigation or hose bibbs within 100' of all required landscape materials for record before installation can occur.

PLANT LEGEND

QTY	KEY	Botanical Name	Common Name	Specification
SHADE TREES				
54	QV	Quercus virginiana	Live Oak	8' MIN Ht./ 4-5' MIN SPRD./ 2" MIN CALIPER/BB/ WELL SHAPED
6	QL	Quercus Laurifolia	Laurel Oak	8' MIN HT./ 4-5' SPRD / 2" MIN CALIPER / BB / WELL SHAPED
7	MG	Magnolia grandiflora	Southern magnolia	8' MIN HT./4-5' SPRD / / 2" MIN CALIPER / WELL SHAPED
FLOWERING TREES				
3	CC	Cercis canadensis	Redbud	8' MIN HT./ 3' MIN SPRD./ 2" MIN CALIPER/ WELL SHAPED
35	CF	Cornus Florida	Florida dogwood	8' MIN HT./ 3' MIN SPRD./ 2" MIN CALIPER/ WELL SHAPED
SHRUBS				
61	RSF	Rhododendron simsii	Indica Azalea 'formosa'	42" O.C./ 30" MIN HT./ 24" MIN CROWN WIDTH/ WELL SHAPED
90	ICN	Ilex cornuta needlepoint	Needlepoint holly	3' O.C./ 18" MIN HT./ 15" MIN SPRD./ WELL SHAPED
GROUNDCOVERS				
643	FR	Ficus repans	Creeping fig	1 Gal/10"Ht/18"OC
507	GS	Gelsimium sempervirens	Carolina jessamine	1 Gal/15"OC
GRASSES				
	SOD	Eremochloa ophiuroides	Centipede grass	Lay solidly in all disturbed areas. Contractor shall estimate required quantities and provide estimate with bid.
		Stenotaphrum secundatum	St. Augustine Grass	Lay solidly in all disturbed shade areas indicated on plan. Contractor estimate required quantities and provide estimate with bid.



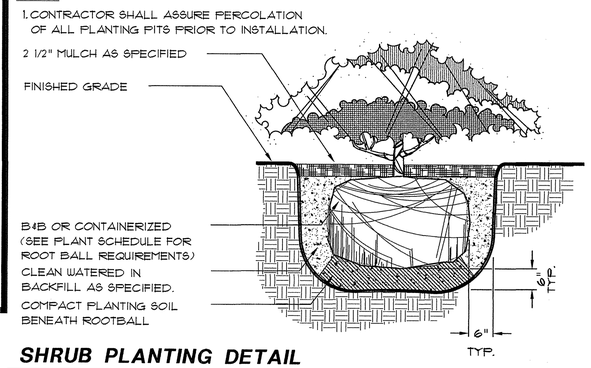
NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

PROTECT TREE WITH BLACK RUBBER HOSE.
WHITE PLASTIC FLAG ON WIRE ABOVE TURN-BUCKLE AND 4" ABOVE GROUND, TYP.
#10 GUAGE WIRE WITH GALVANIZED TURN-BUCKLE.
4" MULCH AS SPECIFIED
SOIL BERM TO HOLD WATER
2" X 4" X 3' STAKES BURIED 3" BELOW FINISHED GRADE.
FINISHED GRADE (SEE GRADING PLAN)
B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
PREPARED PLANTING SOIL AS SPECIFIED.

LARGE TREE

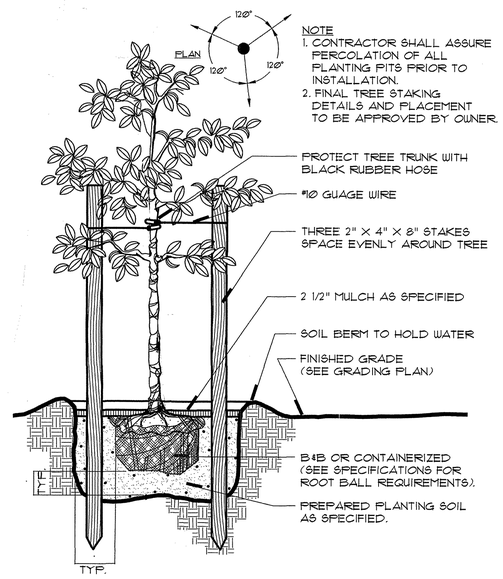
SECTION — NOT TO SCALE

NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



SHRUB PLANTING DETAIL

PLAN — NOT TO SCALE

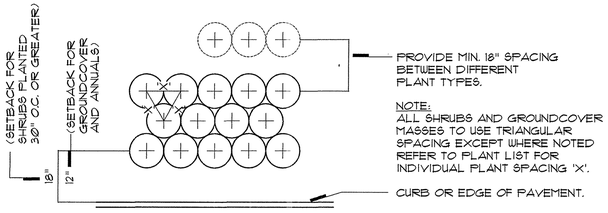


NOTE
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

PROTECT TREE TRUNK WITH BLACK RUBBER HOSE
#10 GUAGE WIRE
THREE 2" X 4" X 8" STAKES SPACE EVENLY AROUND TREE
2 1/2" MULCH AS SPECIFIED
SOIL BERM TO HOLD WATER
FINISHED GRADE (SEE GRADING PLAN)
B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
PREPARED PLANTING SOIL AS SPECIFIED.

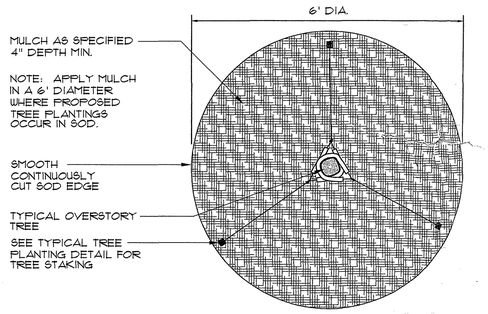
SMALL TREE

SECTION — NOT TO SCALE



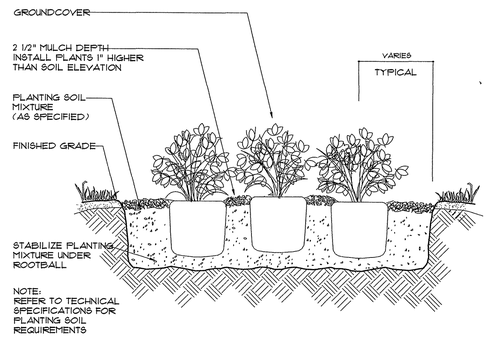
TYPICAL PLANT SPACING

PLAN — NOT TO SCALE



MULCH RING IN SOD AREA DETAIL

PLAN — NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

PLAN — NOT TO SCALE

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	IDENTIFY SIGNIFICANT SLOPE PRESERVATION, REVISE CONSERVATION EASEMENT	4/22/02	C. BIBLER	

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	C. BIBLER	3/28/02
DRAWN BY:	JML/1372	11/28/01
CHECKED BY:		
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.
PROJECT: REGENCY A CONDOMINIUM PROJECT

DATE: May 30, 2002
HORIZONTAL SCALE: NTS
VERTICAL SCALE: N/A
SEC: 04 TWP: 16 RGE: 1E

TITLE: PLANTING NOTES AND DETAILS

CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-000

LICENSE # INDEX NUMBER: D-03672-03
SHEET NUMBER: 11 OF 11

Inspection Copy

48 HOURS BEFORE YOU DIG CALL SUNSHINE 1-800-432-4770 IT'S THE LAW IN FLORIDA

ENVIRONMENTAL PERMIT APPLICATION PLANS
SHORT FORM B - HIGH
REGENCY
A CONDOMINIUM PROJECT
PHASES II AND III - 33 UNITS

SECTION 4, TOWNSHIP 1 SOUTH, RANGE 1 EAST, LEON COUNTY, FLORIDA

A DEVELOPMENT BY
LINDERAND, INC.
P.O. BOX 14435
TALLAHASSEE, FLORIDA
32317
(850) 574-8080

APPROVED
These drawings are approved as conforming to basic water & sewer design criteria of the city of Tallahassee. This approval is valid for 1 year for construction of the systems as shown herein. Individual connections are not included in this approval. Applicable permits must be obtained by the project engineer prior to construction.
CITY OF TALLAHASSEE WATER & SEWER DEPT.
3-28-06 [signature]
DATE ENGINEER

NOTE:
REFER TO APPROVED PHASE I PLANS FOR REQUIRED LANDSCAPING FOR ALL PHASES AND FOR OTHER DETAILS AS NOTED HEREIN.
REFER TO THESE PLANS FOR ALL OTHER CONSTRUCTION FOR ALL PHASES.

Inspection Copy

Owner
Collins Webb
528-8182

Exhibit A
APPROVED
Permit No TEM05D268
As being Consistent with the City of Tallahassee Environmental Management Ordinance
[signature]
Authorized Signature For the Director Growth Management Department
3-28-06
Date Approved
3-28-09
Original Expiration
Extension Expiration

Stormwater Officer
Jim Greene or Marco Espinoza
597-2168 597-2167
FAX 926-0220

PRE-CONSTRUCTION CONFERENCE
The project engineer shall arrange a pre-construction conference among representatives of affected utilities, contractors, engineers and developers for the purpose of coordinating construction and inspection. The project engineer shall prepare minutes of the meeting and circulate to all affected parties.
No construction shall begin prior to this meeting.

LEGEND

ABBREVIATIONS

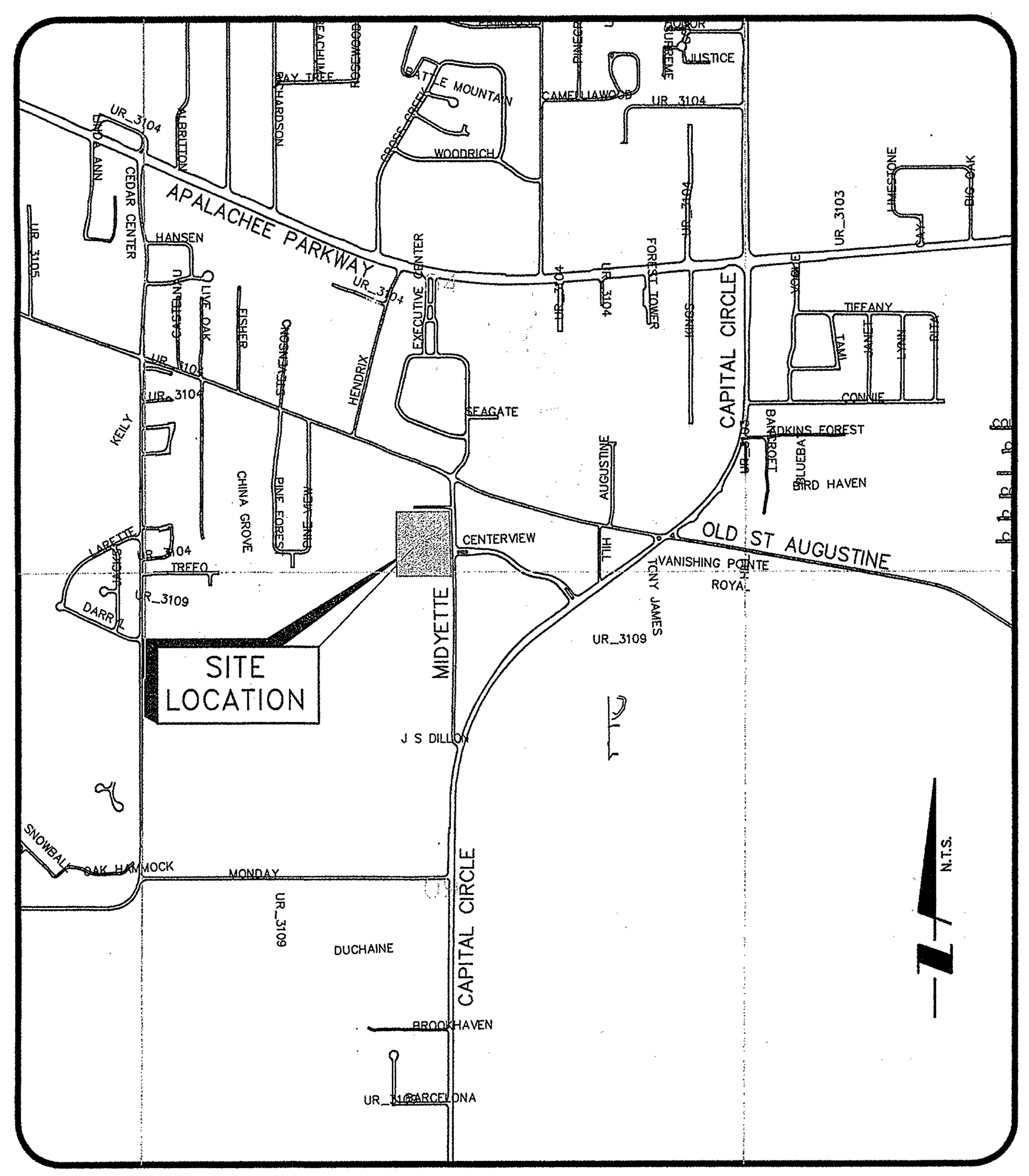
BOC	BACK OF CURB or BACK OF GUTTER
EOP	EDGE OF PAVEMENT
DE	DRAINAGE EASEMENT
LME	LAKE MAINTENANCE EASEMENT
UE	UTILITY EASEMENT
CUE	COUNTY UTILITY EASEMENT
EL or ELEV	ELEVATION
INV	INVERT
LF	LINEAR FEET
NGVD	NATIONAL GEODETIC VERTICAL DATUM
PVI	POINT OF VERTICAL INTERSECTION
NIC	NOT IN CONTRACT
R/W or ROW	RIGHT OF WAY
SB	SOIL BORING
STA	STATION
UP	UTILITY POLE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
CATV	CABLE TELEVISION
ELE	CITY OF TALLAHASSEE ELECTRIC
TEL	SPRINT TELEPHONE
B	BASE LINE
C	CENTERLINE
F	FLOW LINE
P	PROPERTY LINE
CMP	CORRUGATED METAL PIPE
D.I.P.	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
MH	MANHOLE
STR	STORM SEWER STRUCTURE
X.XX' LT/X.XX' RT	FEET LEFT or FEET RIGHT

Inspection Copy

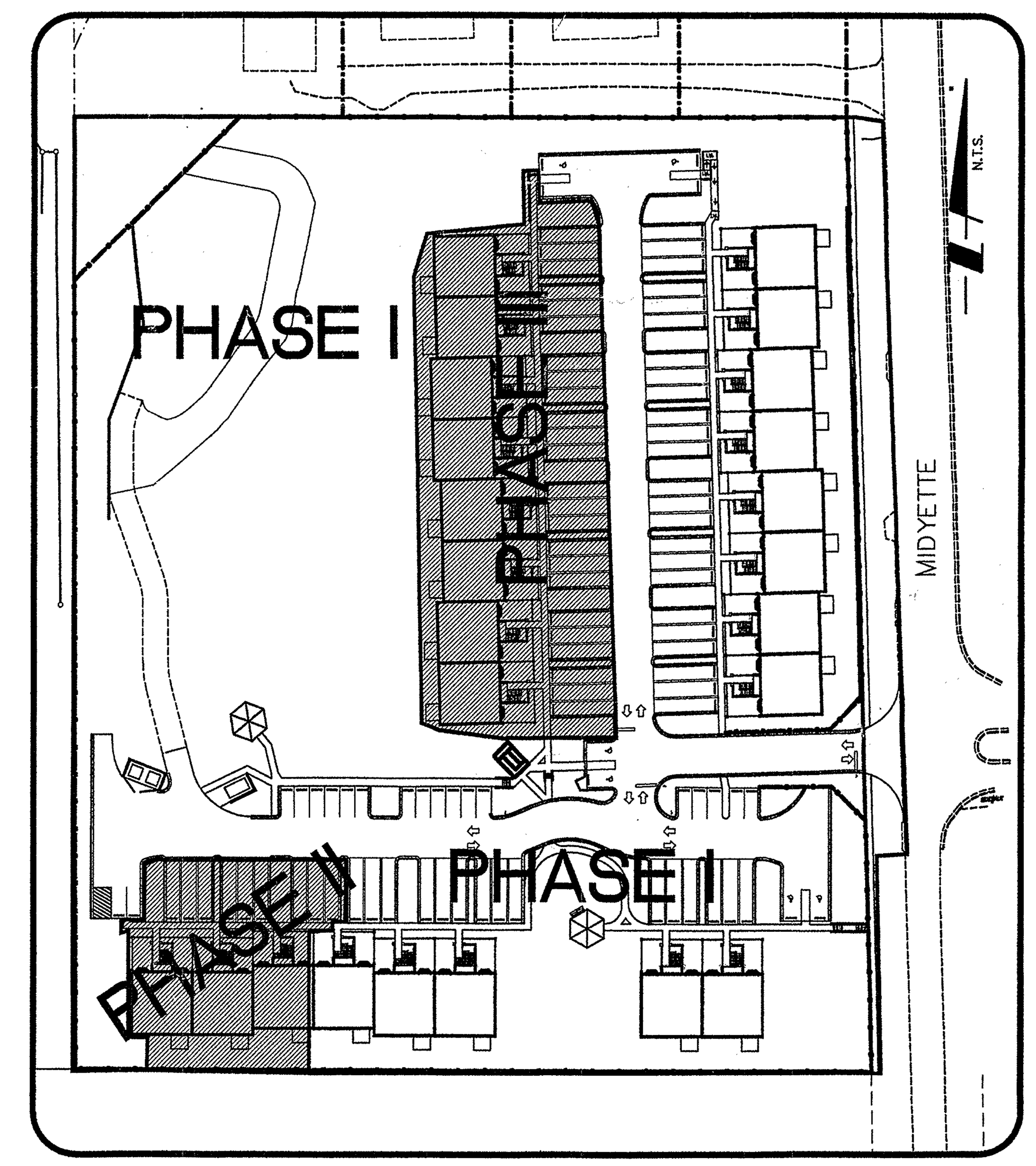
SYMBOLS

- AIR RELEASE VALVE, COMPLETE
- IN-LINE VALVE W/ BOX
- FIRE HYDRANT, COMPLETE
- BLOW-OFF W/ BACTERIAL SAMPLE POINT
- BACTERIAL SAMPLE POINT
- BLOW-OFF
- PIPE PLUG
- WATER METER
- IRRIGATION METER
- REDUCER
- BACKFLOW PREVENTER/ABOVE GROUND METER
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL & CLEAN-OUT
- PUMP STATION
- STORM SEWER & STRUCTURE
- HEADWALL
- U-ENDWALL
- CONTROL STRUCTURE
- MITERED END/FLARED END SECTION
- PROPOSED ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING ELEVATION
- EXISTING PAVEMENT ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALE & DIRECTION OF FLOW
- HANDICAPPED PARKING SPACE
- UNDERDRAIN

NOTE: OPEN SYMBOLS AND DASHED LINES DENOTE EXISTING IMPROVEMENTS



LOCATION MAP



SITE KEY

INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY (EXISTING CONDITIONS)
3	SITE LAYOUT GEOMETRY
4	DEMOLITION/EROSION CONTROL PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	PLAN AND PROFILE
8	PLAN AND PROFILE

NO.	DATE	DESCRIPTION	BY
2	3/23/06	PER WATER UTILITY COMMENTS	AMD
1	2/9/06	PER LUES COMMENTS AND WATER UTILITY COMMENTS	AMD

STATUS : REVISIONS

PROJECT MANAGER	PROJECT ENGINEER	PROJECT SURVEYOR
BIBLER DESIGN DEV.	CHRIS E. BROCKMEIER, P.E.	ALAN PLATT P.L.S.

CHECKED BY ______________ DATE ______________

STAMP

RECEIVED MAR 2 2006 GROWTH MANAGEMENT

RESERVED FOR STATUS AND DATE STAMPS TEM020088

Inspection Copy

WM PROJECT NUMBER	BDD PROJECT NUMBER
03672-000-001	104.022
DATE	
12-16-05	

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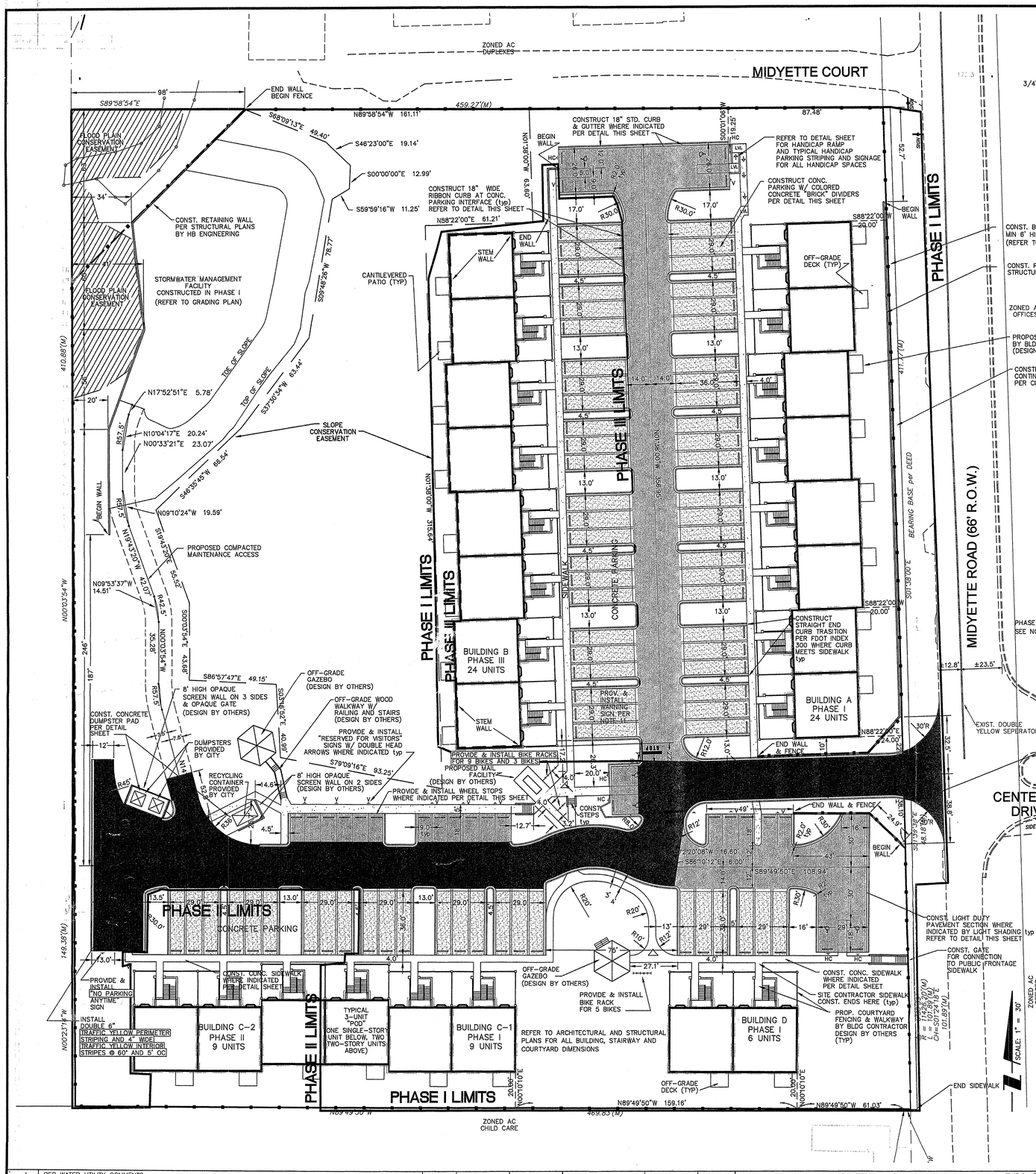
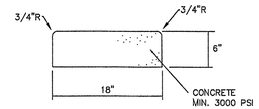
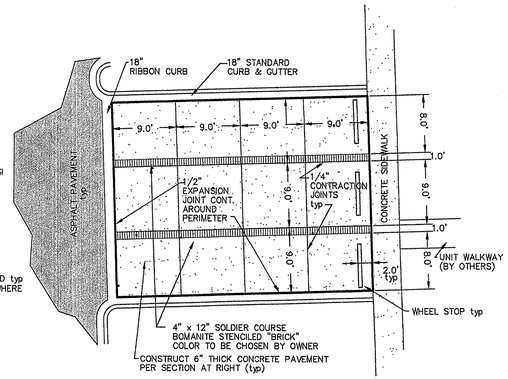




RIBBON CURB DETAIL

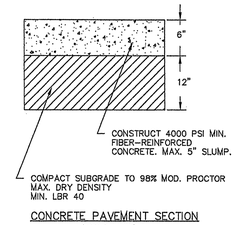
NOT TO SCALE

PROVIDE 1/8" – 1/4" CONTRACTION JOINT AT 10' CENTERS (MAX.)



CONCRETE RESIDENT PARKING AREA DETAIL

1" = 10'



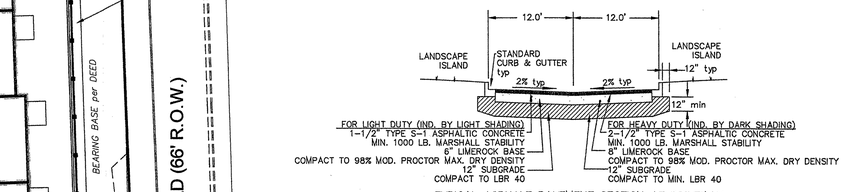
CONCRETE PAVEMENT SECTION

NOT TO SCALE

CONCRETE NOTES:

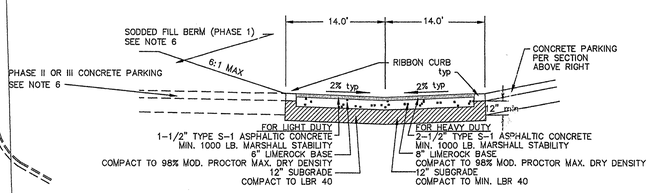
1. THE CONCRETE SLAB SHALL HAVE A MINIMUM FLEXURAL STRENGTH OF 600 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH ASTM C-78. THE CONCRETE WORK SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 350.

2. JOINTS AND SEALING COMPOUND SHALL CONFORM TO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



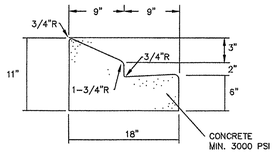
TYPICAL ASPHALT PAVEMENT SECTION AT DRIVEWAY

NOT TO SCALE



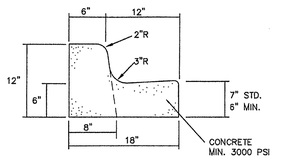
TYPICAL ASPHALT PAVEMENT SECTION AT RESIDENT PARKING

NOT TO SCALE



MOUNTABLE CURB & GUTTER DETAIL

NOT TO SCALE



STANDARD CURB & GUTTER DETAIL

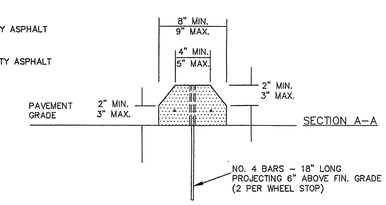
NOT TO SCALE

1. WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT, AND THE THICKNESS OF THE LIP SHALL BE 6"

2. PROVIDE 1/8" – 1/4" CONTRACTION JOINT AT 10' CENTERS (MAX.)

PAVEMENT LEGEND

- CONCRETE
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT



GENERAL NOTES:

1. BEFORE APPLYING FOR A BUILDING PERMIT, BUILDING PLANS MUST BE REVIEWED AND APPROVED BY THE ELECTRIC, SOLID WASTE AND CROSS-CONNECTION COORDINATOR.

2. ALL EXISTING PAVED APRONS FOR EXISTING DRIVEWAYS SHALL BE REMOVED FROM MIDYETTE ROAD R/W.

3. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

4. ALL DISABLED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS AND THESE PLANS.

5. CONTRACTOR SHALL PROVIDE BOLLARDS AT DUMPSTER AREAS PER CITY SOLID WASTE DEPARTMENT REQUIREMENTS.

6. ALL INFRASTRUCTURE SHALL BE COMPLETED IN THE FIRST PHASE AS SHOWN IN THE APPROVED CONSTRUCTION PLANS FOR PHASE I AS MODIFIED BY THESE DOCUMENTS. BUILDINGS A,C-1 AND D SHALL BE COMPLETED IN THE FIRST PHASE. PHASE II AND III BLDG AND PARKING AREAS MAY BE CLEARED, GRADED AND STABILIZED AS INDICATED IN APPROVED ENVIRONMENTAL PERMIT PLANS FOR PHASE I, DURING PHASE I CONSTRUCTION. CONSTRUCTION OF IMPERVIOUS AREA WITHIN PHASE II AND III BLDG AND PARKING AREAS SHALL NOT COMMENCE UNTIL MASTER STORMWATER MANAGEMENT FACILITY IS IN PLACE AND FUNCTIONING AS DESIGNED. IMPERVIOUS CONSTRUCTION WITHIN PHASES II AND III MAY COMMENCE UPON CERTIFICATION BY ENGINEER OF RECORD THAT THIS HAS OCCURRED.

7. LAYOUT DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF PAVEMENT WHERE NO CURB IS PROPOSED, OUTSIDE FACE OF BUILDINGS, AND ASPHALT / CONCRETE TRANSITION POINTS.

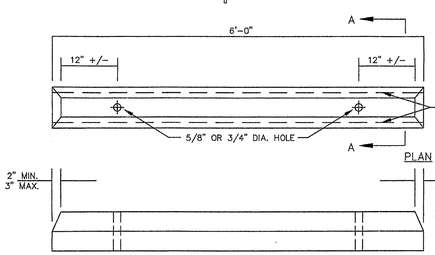
8. DOCUMENTATION OF THE ESTABLISHMENT AND RECORDING OF THE CONDOMINIUM MUST BE SUBMITTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

9. INSTALL STOP SIGNS, BARS AND STOP LETTERING WHERE INDICATED. MARKINGS SHALL BE INSTALLED USING THERMOPLASTIC MATERIALS PER CURRENT FDOT STANDARDS.

10. CONCRETE STEPS SHALL BE CONSTRUCTED WHERE INDICATED PER FDOT INDEX 520. REFER TO GRADING PLAN FOR ELEVATIONS.

11. WARNING SIGN INDICATED AT ENTRANCE TO PARKING AREA TO READ "VISITORS MUST PARK IN DESIGNATED VISITOR SPACES. VIOLATORS WILL BE TOWED".

12. ALL BUILDING STEM WALLS AND OTHER RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE DESIGNED AND PERMITTED BY OTHERS.



WHEEL STOP DETAIL

NOT TO SCALE

VERIFIED SEALED DOCUMENT

ELEVATION

3/24/06

CHRIS E. BROCKMEIER, P.E.
LICENSE # 56859

△REV NO.	REVISION	STAMP	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	PER WATER UTILITY COMMENTS		3/23/06	AMD	CSB

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	csb	12/16/05
DRAWN BY:	csb	12/16/05
CHECKED BY:	CEB	12/17/05
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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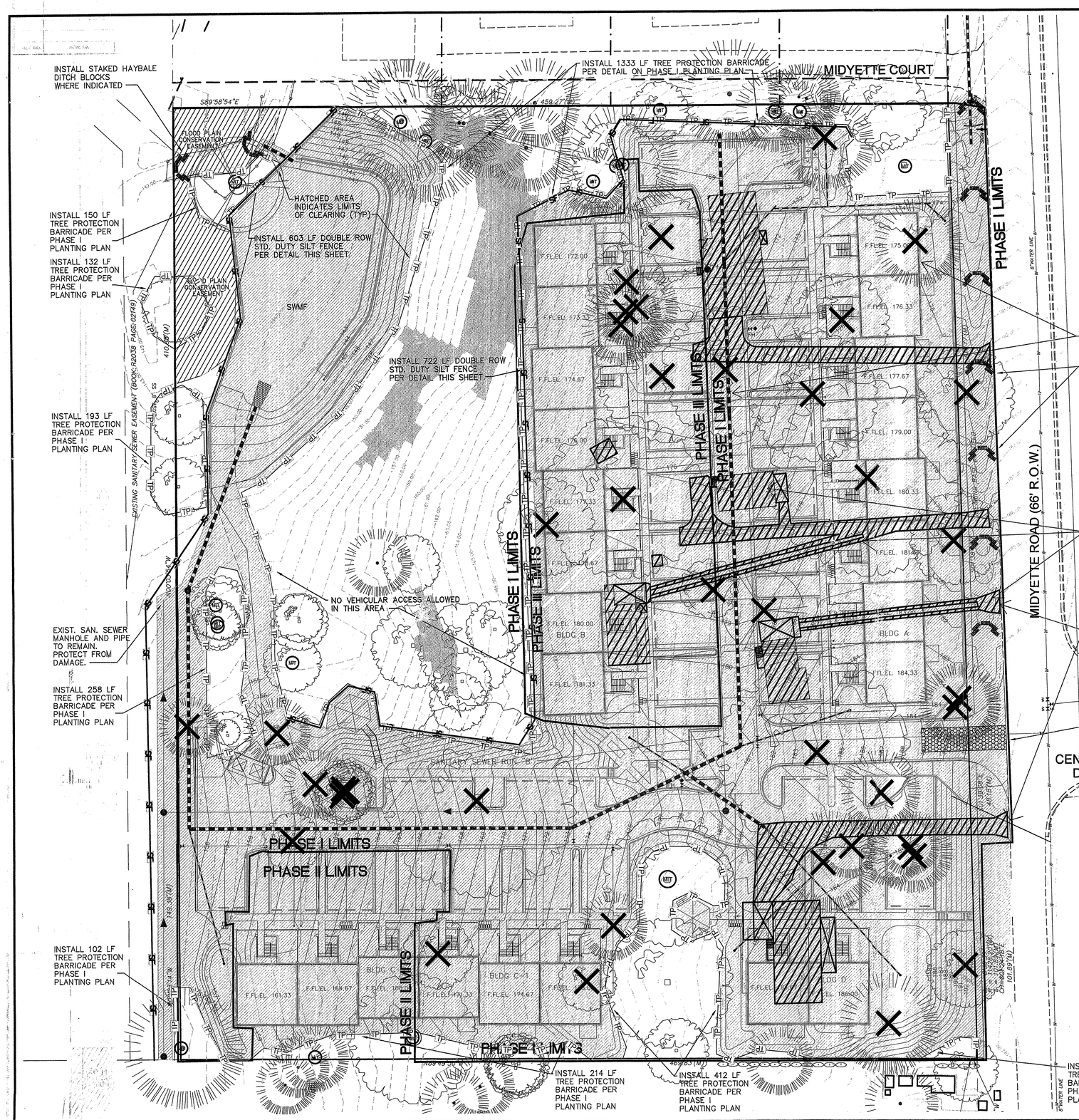
CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASES II & III – 33 UNITS

DATE: 12-16-05
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-001

TITLE: SITE LAYOUT PLAN

SHEET NUMBER: 3 OF 8

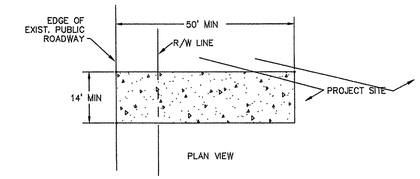


TREE LEGEND

INDICATES TREE TO BE PRESERVED (NO MITIGATION NECESSARY)

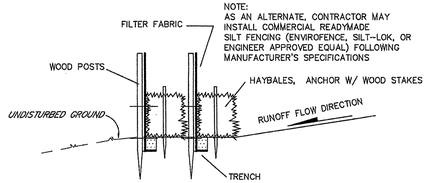
INDICATES TREE TO REMAIN (MITIGATION MEASURES PER SHEET 9)

INDICATES TREE TO BE REMOVED (REPLACEMENT CREDITS REQUIRED)



CONSTRUCTION ENTRANCE / EXIT SHALL CONSIST OF A 6" LAYER OF MIN. 1" – 2" ø STONE. THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD OR SEDIMENTS ONTO THE PUBLIC STREETS OR GUTTERS. PERIODIC TOP DRESSING WITH STONE WILL BE NECESSARY AND AN ADEQUATE SUPPLY SHOULD BE HANDY. ANY SEDIMENTS OR MUD SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE CLEANED UP IMMEDIATELY. CONSTRUCTION ENTRANCE SHALL BE IN PLACE FOR CITY SITE CONSTRUCTION INSPECTOR.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



NOTE:
AS AN ALTERNATE, CONTRACTOR MAY INSTALL COMMERCIAL READYMADE SILT FENCING (ENVIROFENCE, SILT-LOK, OR ENGINEER APPROVED EQUAL) FOLLOWING MANUFACTURER'S SPECIFICATIONS

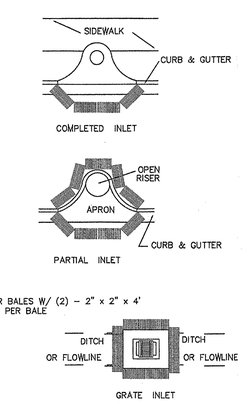
1. EXCAVATE 6" DEEP BY 6" WIDE TRENCH ALONG UPHILL SIDE OF PROPOSED SILT FENCE LOCATION.
2. DRIVE 6' LONG, 2" BY 2" WOOD POSTS A MINIMUM OF 18" INTO UNDISTURBED GROUND ALONG DOWNHILL SIDE OF TRENCH. POSTS SHALL BE PLACED A MAXIMUM OF 4' CENTER TO CENTER.
3. UNROLL FILTER FABRIC ALONG TRENCH, STAPLING TO UPHILL SIDE OF POSTS. 12" OF FABRIC SHALL EXTEND INTO TRENCH, 6" VERT. AND 6" HORIZ.
4. BACKFILL TRENCH WITH EXCAVATED MATERIAL AND COMPACT.
5. INSTALL STAKED HAYBALES CONTINUOUS ALONG UPHILL SIDE OF FENCE.
6. DETAIL SHOWN IS FOR STD. DUTY SILT FENCE. FOR HEAVY DUTY SILT FENCE, WOOD STAKES SHALL BE REPLACED BY 4" X 4" POSTS WITH HOG WIRE FENCING.

DOUBLE ROW SILT FENCE DETAIL
NOT TO SCALE

SEDIMENTATION AND EROSION CONTROL MEASURES INDICATED ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL MEASURES THROUGHOUT THE CONSTRUCTION SEQUENCE. CONTRCATOR SHALL AUGMENT MEASURES SHOWN BASED ON FIELD CONDITIONS OR INSPECTOR'S REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO ASSURE PROTECTION OF ADJACENT PROPERTIES FROM SEDIMENTATION.

EROSION CONTROL OFFICER:

JACK M. GREEN II
LINDERAND, INC.
PO BOX 14435
TALLAHASSEE, FL 32317
(850) 574-8080



HAY BALE SEDIMENT CONTROL DETAIL
NOT TO SCALE

CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL SUBMIT NPDES-NOI AND PREPARE PLAN FOR ENGINEER'S APPROVAL.
2. POST PERMIT PLACARD(S).
3. DESIGNATE STAGING AREAS, REFUELING AREAS AND STOCKPILE AREAS; LOCATE IN APPROPRIATE AREAS CONSIDERING PUBLIC SAFETY AND WATERCOURSES.
4. ESTABLISH SAFE PEDESTRIAN AND VEHICULAR TRAFFIC PATTERNS AROUND CONSTRUCTION AREA. INSTALL BARRICADES AND SIGNAGE AS NECESSARY TO PROTECT PUBLIC IN VICINITY OF CONSTRUCTION.
5. SET UP AND ATTEND PRECONSTRUCTION MEETING WITH ALL APPROPRIATE CITY OF TALLAHASSEE REPRESENTATIVES. THE CONTRACTOR SHALL REQUEST AN ONSITE PRE-CONSTRUCTION CONFERENCE WITH C.O.T. ENVIRONMENTAL SERVICES DIVISION PRIOR TO ANY CONSTRUCTION ACTIVITY.
6. INSTALL SEDIMENTATION CONTROL MEASURES. CONTACT CITY SITE CONSTRUCTION INSPECTOR TO REVIEW AND APPROVE MEASURES PRIOR TO COMMENCING CLEARING OPERATIONS. CONSTRUCTION ACTIVITY SHALL NOT COMMENCE UNTIL THE SEDIMENT CONTROLS HAVE BEEN INSPECTED AND APPROVED BY THE CITY ENVIRONMENTAL INSPECTOR. ARBORICULTURAL MITIGATION REQUIREMENTS SHALL COMMENCE PRIOR TO ANY SITE CLEARING.
7. CLEAR & GRUB SUFFICIENT TO CONSTRUCT SWMF. CONSTRUCT SWMF AND OUTFALL. PROVIDE TEMPORARY PLUG FOR ORIFICE. PROVIDE TEMPORARY MOUNDED SAND FILTER.
8. PERFORM DEMOLITION ACTIVITIES AND CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS. DISPOSE OF DEBRIS OFFSITE APPROPRIATELY.
9. REMOVE AND REPLACE ANY UNSUITABLE SOILS TO 5' OUTSIDE PROPOSED PAVEMENT EDGE.
10. INSTALL UTILITIES & CONDUITS AND COMPACT SUBGRADE AS SPECIFIED.
11. INSTALL PAVEMENT BASE & CURB.
12. INSTALL DUMPSTER PAD, SIDEWALKS AND CONCRETE PARKING; INSTALL ASPHALT AND WHEEL STOPS.
13. INSTALL PAVEMENT STRIPING, LANDSCAPING AND SIGNAGE.
14. REMOVE ANY REMAINING CONSTRUCTION DEBRIS AND SILT FROM SITE. THOROUGHLY FLUSH STORM STRUCTURES. CONTACT ENGINEER WITH MIN. 48 HRS NOTICE TO OBSERVE SAND FILTER INSTALLATION. CONSTRUCT PERMANENT SAND FILTER. REMOVE TEMPORARY FILTER. REMOVE TEMPORARY PLUG FROM ORIFICE.
15. OBTAIN AS BUILT SURVEY AS REQUIRED FOR FINAL ACCEPTANCE AND SUPPLY COPIES TO ENGINEER. CONTACT ENGINEER FOR REQUIREMENTS.
16. REMOVE SEDIMENTATION CONTROLS FOLLOWING APPROVAL BY CITY INSPECTOR.

VERIFIED SEALED DOCUMENT

NOTE: ALL DEMOLITION SHOWN SHALL BE COMPLETED IN PHASE I.
ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN PHASE I AND MAINTAINED THROUGHOUT CONSTRUCTION OF ALL PHASES.

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	PER LUES COMMENTS AND WATER UTILITY COMMENTS	2/9/06	AMD	CEB

STAMP

ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	csb	12/16/05
DRAWN BY:	csb	12/16/05
CHECKED BY:	CEB	12/17/05
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

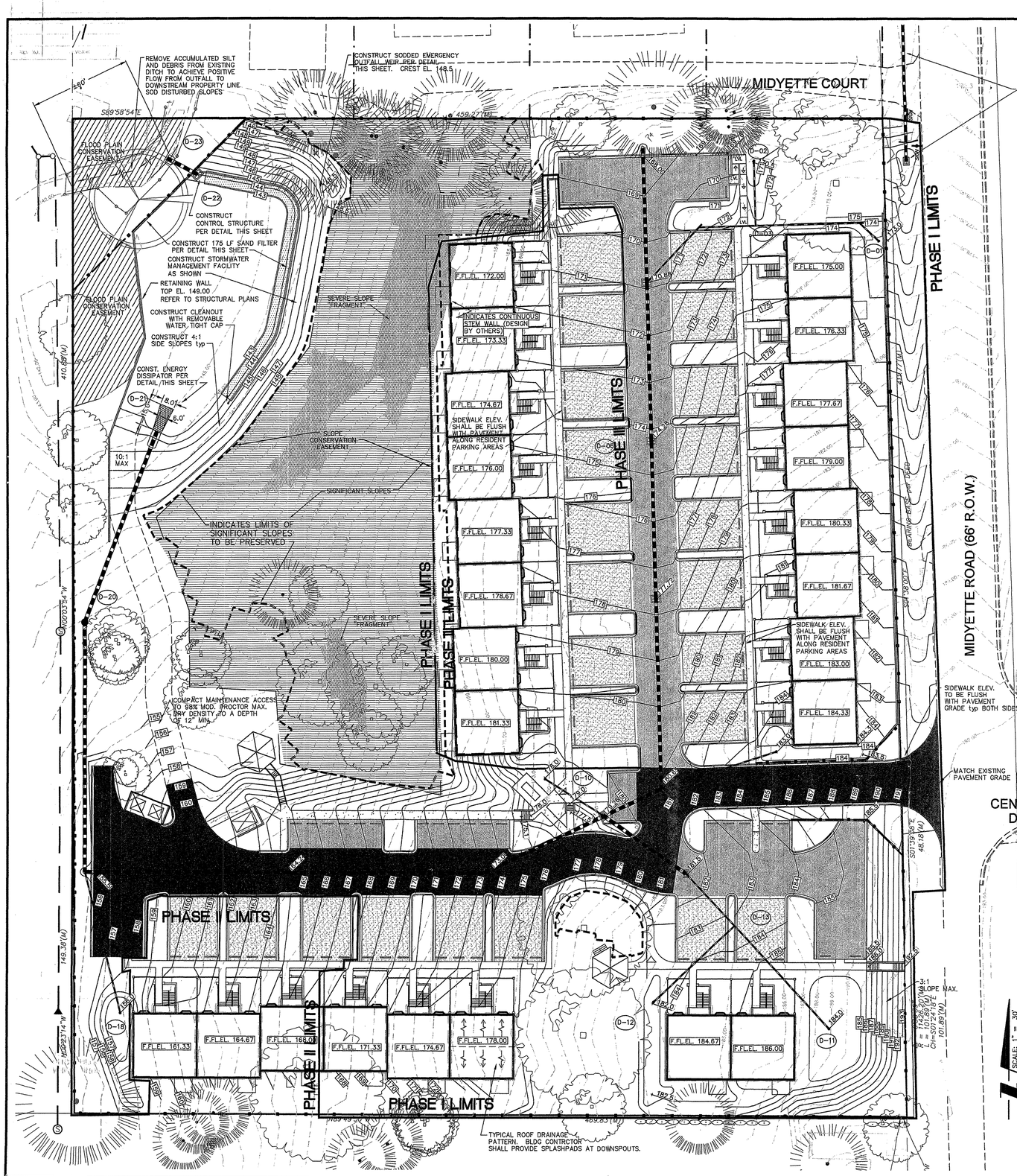
PROJECT: REGENCY CONDOMINIUM PHASES II & III – 33 UNITS

DATE: 12-16-05
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-001

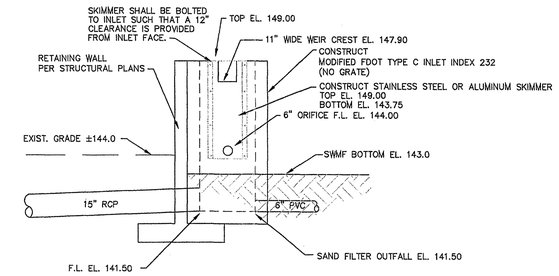
TITLE: DEMOLITION/EROSION CONTROL PLAN

3/24/06
CHRIS E. BROOMHEAD, P.E.
LICENSE # 56859

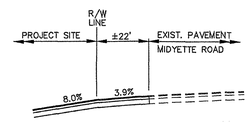
SHEET NUMBER: 4 OF 8



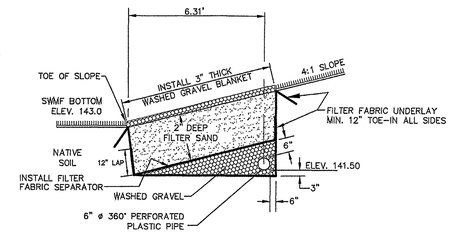
REGENCY DEVELOPER SHALL REMOVE EXISTING DRIVEWAY CULVERTS WITHIN MIDYETTE RIGHT OF WAY AND PROVIDE SODDED SWALE AND SIDEWALK PER SECTION THIS SHEET



DETAIL OF CONTROL STRUCTURE
(D-22)
NOT TO SCALE

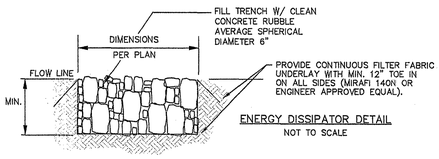


PROPOSED DRIVEWAY PROFILE
1" = 30' H
1" = 15' V



SAND FILTER INSTALLATION DETAIL
NOT TO SCALE

1. GRAVEL SHALL BE COARSE AGGREGATE MEETING FDOT INDEX 286.
2. FILTER SAND SHALL BE CLEAN SELECT QUARTZ SAND WITH < 1% SILT, CLAY OR ORGANIC MATTER, COEFFICIENT OF UNIFORMITY OF SAND 1.5 < Cu < 4.0, AND EFFECTIVE GRAIN SIZE OF 0.2 TO 0.55 mm DIA.; IN CONFORMANCE WITH F.A.C. 17-25 REQUIREMENTS.
3. CLEANOUTS TO BE PROVIDED AS SHOWN ON PLAN.
4. PERFORATED PIPE TO BE USED IN FILTER BED ONLY. CLEANOUTS AND CONNECTIONS TO INLET SHALL BE PVC OR NON-PERF HDPE.
5. FILTER FABRIC SHALL BE MIRAFI 140N OR ENGINEER APPROVED EQUAL.
6. NO FILTER FABRIC SHALL BE PLACED BETWEEN 3" GRAVEL BLANKET AND SAND.
7. REFER TO FDOT INDEX 286 FOR CLEANOUT CONSTRUCTION.
6. CLEANOUT TOPS SHALL BE AT OR ABOVE ELEVATION 144.00.



ENERGY DISSIPATOR DETAIL
NOT TO SCALE

GENERAL NOTES:

1. REFER TO LATEST EDITION FDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR STORM SEWER BEDDING AND TRENCHING REQUIREMENTS. REFER TO CITY OF TALLAHASSEE SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION DATED APRIL 2002 FOR BEDDING AND TRENCHING REQUIREMENTS FOR UTILITIES.

2. ALL FILL SHALL BE PLACED IN LEVEL LIFTS IN MAX. DEPTH AS SPECIFIED IN GEOTECHNICAL REPORT.

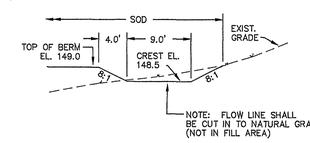
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICULAR SAFETY IN THE VICINITY OF CONSTRUCTION THROUGHOUT THE CONSTRUCTION SEQUENCE.

4. CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE CITY RIGHT OF WAY WITH THE CITY STREETS AND DRAINAGE DEPARTMENT.

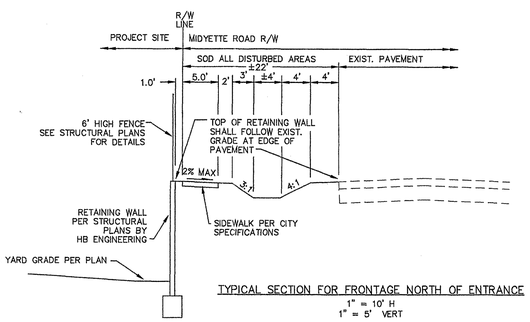
5. ALL PERVIOUS DISTURBED AREAS SHALL BE SODDED EXCEPT AS INDICATED ON LANDSCAPE PLAN.

6. WALLS GREATER THAN 3' IN HEIGHT MAY NOT BE CONSTRUCTED WITHOUT A BUILDING PERMIT. CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMIT TO CONSTRUCT WALLS.

7. PRIVACY FENCES AND/ OR WALLS AROUND INDIVIDUAL "YARD" AREAS SHALL BE DESIGNED WITH OPENINGS ALONG BASE TO ALLOW FOR RUNOFF TO SHEET FLOW TOWARD PARKING AREAS.



EMERGENCY OVERFLOW WEIR DETAIL
NOT TO SCALE



TYPICAL SECTION FOR FRONTAGE NORTH OF ENTRANCE
1" = 10' H
1" = 5' VERT

VERIFIED SEALED DOCUMENT

REV NO.	REVISION	STAMP	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.

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DRAWN BY:	csb	12/16/05
CHECKED BY:	CEB	12/17/05
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

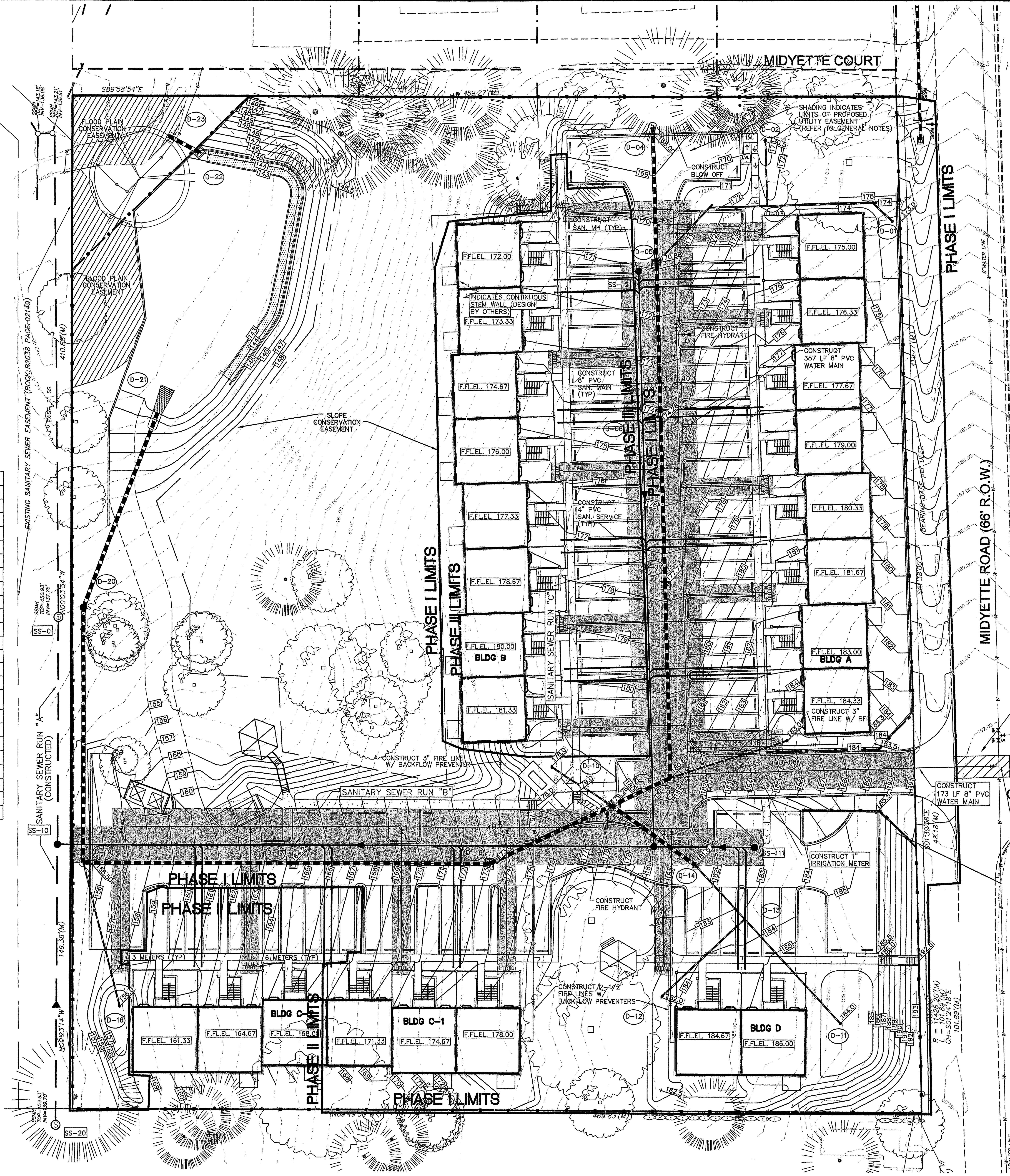
PROJECT: REGENCY CONDOMINIUM PHASES II & III – 33 UNITS

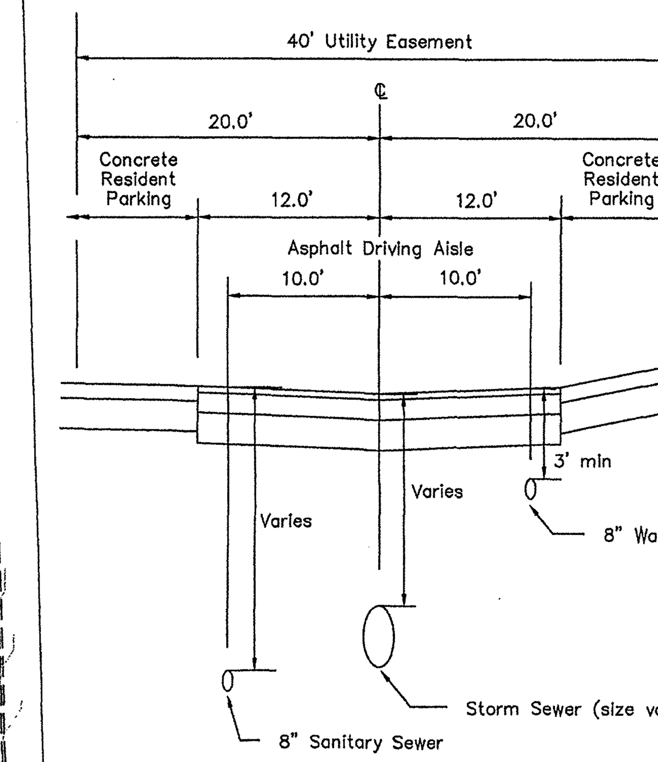
DATE: 12-16-05
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-001

TITLE: GRADING PLAN

3/24/06
CHRIS E. BROCKNER, P.E.
LICENSE # 56859

SHEET NUMBER: 5 OF 8





Typical Section through Utility Easement
1" = 10'H
1" = 5'V

DRAINAGE STRUCTURE SCHEDULE									
STR #	TYPE	FDOT INDEX	TOP EL.	FL. EL.	FROM	L (FT)	DIA (IN)	MAT'L	SLOPE(%)
D-01	18" HDPE YARD DRAIN		173.00	170.00	D-01 to D-03	74	12	HDPE	3.88
D-02	12" HDPE YARD DRAIN		170.50	167.50	D-02 to D-03	37	8	HDPE	1.00
D-03	HDPE TEE		N/A	167.13	D-03 to D-05	75	12	HDPE	1.00
D-04	P4 CURB INLET	201,210	168.33	163.83	D-04 to D-05	76	15	RCP	0.40
D-05	V GUTTER INLET ALT G	221	170.88	166.38 (12") 163.53 (15")	D-05 to D-06	89	15	RCP	0.40
D-06	V GUTTER INLET ALT G	221	174.28	163.17 (15") 162.92 (18")	D-06 to D-07	89	18	RCP	0.30
D-07	V GUTTER INLET ALT G	221	177.72	162.65 (18") 162.15 (24")	D-07 to D-09	108	24	RCP	0.21
D-08	12" HDPE YARD DRAIN		183.00	180.00	D-08 to D-09	69	8	HDPE	3.62
D-09	V GUTTER INLET ALT G W/ J BOTTOM	221,201	180.65	177.50 (8") 161.92 (24")	D-09 to D-15	36	24	RCP	1.90
D-10	12" HDPE YARD DRAIN		178.00	175.00	D-10 to D-15	40	8	HDPE	0.50
D-11	12" HDPE YARD DRAIN		184.00	181.00	D-11 to D-13	79	8	HDPE	2.17
D-12	12" HDPE YARD DRAIN		182.00	179.54	D-12 to D-13	62	8	HDPE	0.40
D-13	HDPE TEE		N/A	179.29	D-13 to D-14	41	12	HDPE	2.17
D-14	V GUTTER INLET ALT G	221	181.50	178.40	D-14 to D-15	57	15	RCP	4.39
D-15	E GRATE INLET W/ TRAVERSABLE SLOT		179.40 SLOT 178.82	175.00 (15") 174.80 (8") 161.23 (24")	D-15 to D-16	75	24	RCP	0.20
D-16	V GUTTER INLET ALT G W/ J BOTTOM	221,201	173.00	161.08	D-16 to D-17	110	24	RCP	2.58
D-17	V GUTTER INLET ALT G	221	164.24	158.24	D-17 to D-19	117	24	RCP	6.29
D-18	18" HDPE YARD DRAIN		156.00	153.00	D-18 to D-19	82	12	HDPE	1.37
D-19	P4 CURB INLET	201,210	155.88	151.88 (12") 150.88 (24")	D-19 to D-20	142	24	RCP	3.08
D-20	STORM MANHOLE	201	151.50	146.50	D-20 to D-21	115	24	RCP	3.04
D-21	CONC. M.E.S.	272	N/A	143.00	N/A	N/A	N/A	N/A	N/A
D-22	C GRATE INLET (MOD)	232	149.00	141.50	D-22 to D-23	20	15	RCP	2.50
D-23	CONC. MES	272	N/A	141.00	N/A	N/A	N/A	N/A	N/A

SANITARY SEWER STRUCTURE SCHEDULE					
STR #	TYPE	TOP EL.	INV. EL.	FROM	LENGTH & TYPE
SS-12	SANITARY MANHOLE	171.11	166.51	SS-12 to SS-11	318.81 LF 8" PVC
SS-111	SANITARY MANHOLE	182.94	176.94	SS-111 to SS-11	56 LF 8" PVC
SS-11	SANITARY MANHOLE	180.32	164.83(N & W) 173.86(E) w/drop	SS-11 to SS-10	332.61 LF 8" PVC
SS-20	SANITARY MANHOLE (EX)	153.93	139.70	SS-20 to SS-10	154.97 LF 8" PVC
SS-10	SANITARY MANHOLE	156.50	138.62	SS-10 to SS-0	126.21 LF 8" PVC
SS-0	SANITARY MANHOLE (EX)	150.93	137.75	N/A	N/A

NOTES:

1. ALL PIPE MEASUREMENTS ARE TO CENTERLINE OF STRUCTURES.
2. SANITARY SEWER RUN 'A' INDICATED IN PHASE I PLANS HAS BEEN CONSTRUCTED TO SERVE THE BROOKWOOD TRACE DEVELOPMENT IMMEDIATELY SOUTH OF THIS PROJECT.

GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION SHALL STRICTLY ADHERE TO CITY OF TALLAHASSEE SPECIFICATIONS FOR WATER & SEWER UTILITY, CURRENT EDITION. REFER TO SPECIFICATIONS FOR ALL DETAILS. SPECIFICATIONS ARE AVAILABLE FOR PURCHASE AT THE WATER UTILITY DEPARTMENT, ENGINEERING & INSPECTION DIVISION. REFER TO SPECIFICATIONS FOR REQUIRED TESTING AND CERTIFICATIONS.

2. BACKFLOW PREVENTION DEVICES ARE REQUIRED TO MEET CITY OF TALLAHASSEE CROSS-CONNECTION CONTROL DEPARTMENT SPECIFICATIONS. FIRE LINES TO BUILDINGS SHALL BE EQUIPPED WITH DOUBLE DETECTOR CHECKS. WATER SERVICES SERVING 3RD FLOORS SHALL BE EQUIPPED WITH BACKFLOW PREVENTERS. IRRIGATION LINE SHALL BE EQUIPPED WITH RPZ.

3. CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF EXISTING UTILITIES AND TO CONTACT UNIVERSAL LINE LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY IF CONSTRUCTION CONFLICTS EXIST WHICH ARE NOT INDICATED ON PLANS.

4. ALL WATER SERVICES TO METER BANKS SHALL BE 2".

5. ALL INDIVIDUAL METERS TO UNITS SHALL BE 3/4".

6. FIRE LINE SIZES ARE BASED ON FIRE PROTECTION DESIGN BY PHOENIX PLUMBING.

7. CONTRACTOR SHALL INSTALL WATER SERVICE LINES AND SHUT OFF VALVES. CITY SHALL INSTALL MANIFOLD AND METERS W/ BOXES.

8. CONTRACTOR SHALL INSTALL SANITARY SEWER SERVICE LINES AS INDICATED.

9. UTILITY EASEMENT SHOWN IS FOR CITY ACCESS TO MAINS AND METERS. FINAL EASEMENT LOCATION MAY BE ADJUSTED AS NECESSARY FROM WHAT IS SHOWN IF METERS ARE RELOCATED DURING CONSTRUCTION.

10. REFER TO PLAN PROFILE SHEETS FOR SANITARY SEWER MAIN CONSTRUCTION AND CLEANOUT ELEVATIONS.

11. WATER AND SANITARY SEWER INFRASTRUCTURE AND SERVICE LOCATIONS HAVE BEEN REVISED FROM WHAT WAS INDICATED ON APPROVED PHASE I CONSTRUCTION DOCUMENTS. THESE PLANS SUPERSEDE PHASE I PLANS WITH REGARD TO WATER AND SANITARY SEWER INFRASTRUCTURE AND SERVICES.

VERIFIED SEALED DOCUMENT

3/24/06
CHRIS E. BROCKMEIER, P.E.
LICENSE # 56859

REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	PER LUES COMMENTS AND WATER UTILITY COMMENTS	2/9/06	AMD	CEB
2	PER WATER UTILITY COMMENTS	3/23/06	AMD	CEB

STAMP

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DESIGNED BY:	csb	12/16/05
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CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASES II & III - 33 UNITS

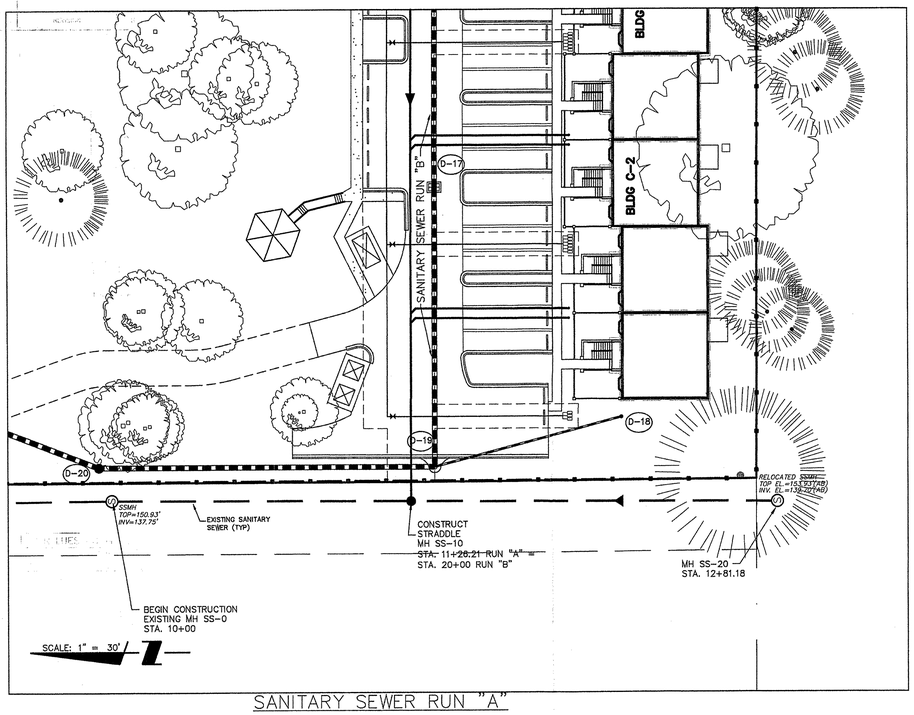
DATE: 12-16-05
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E

TITLE: UTILITY PLAN

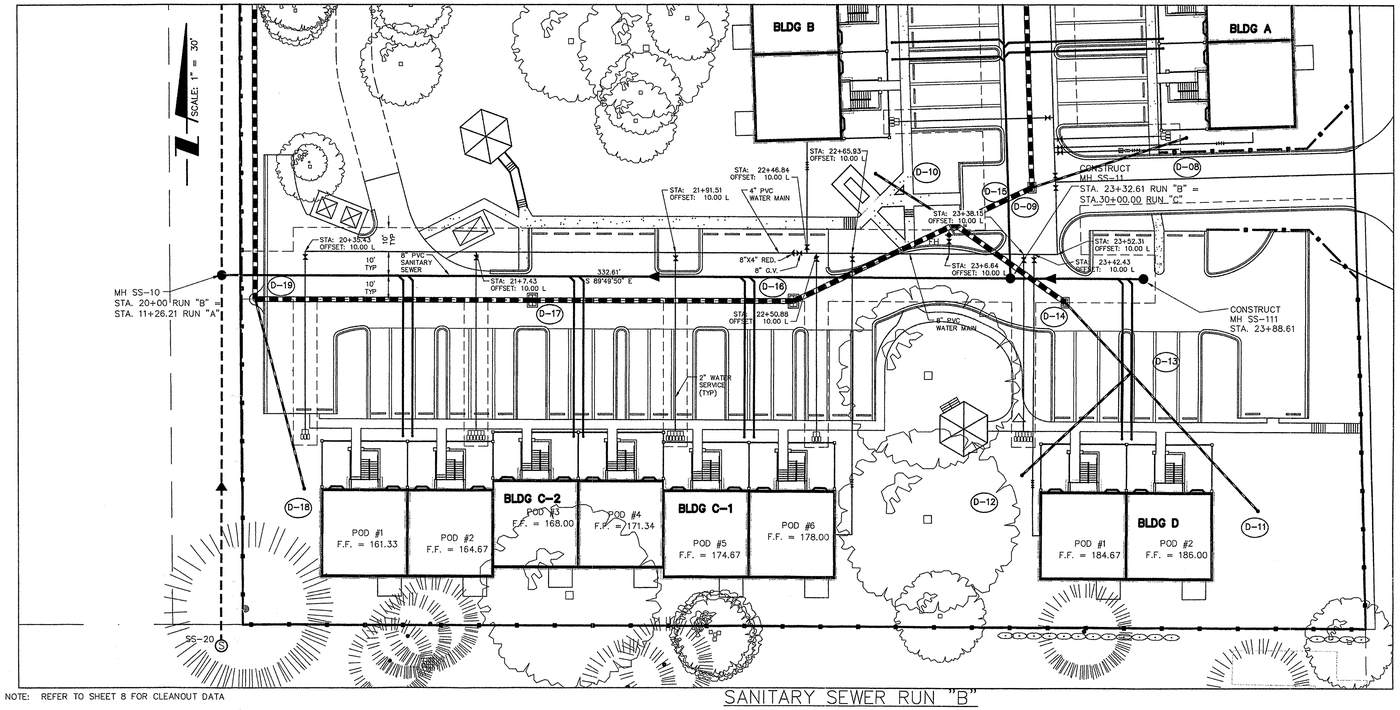
CROSS REFERENCE FILE NO.:

PROJECT NUMBER: 03672-000-001

SHEET NUMBER: 6 OF 8

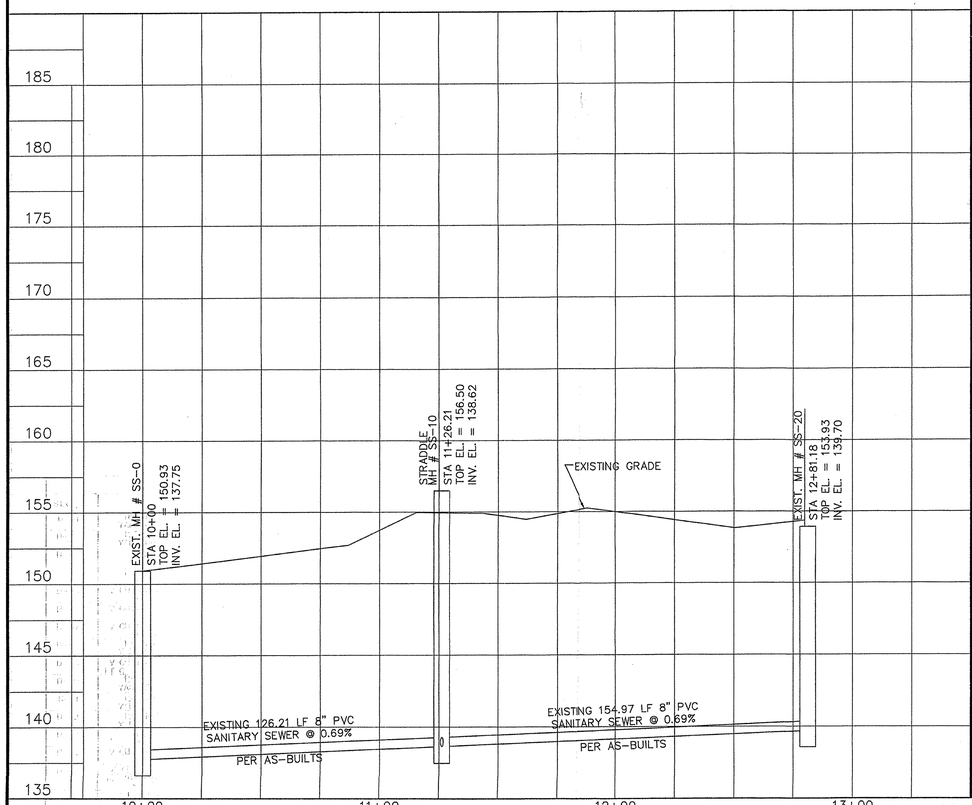


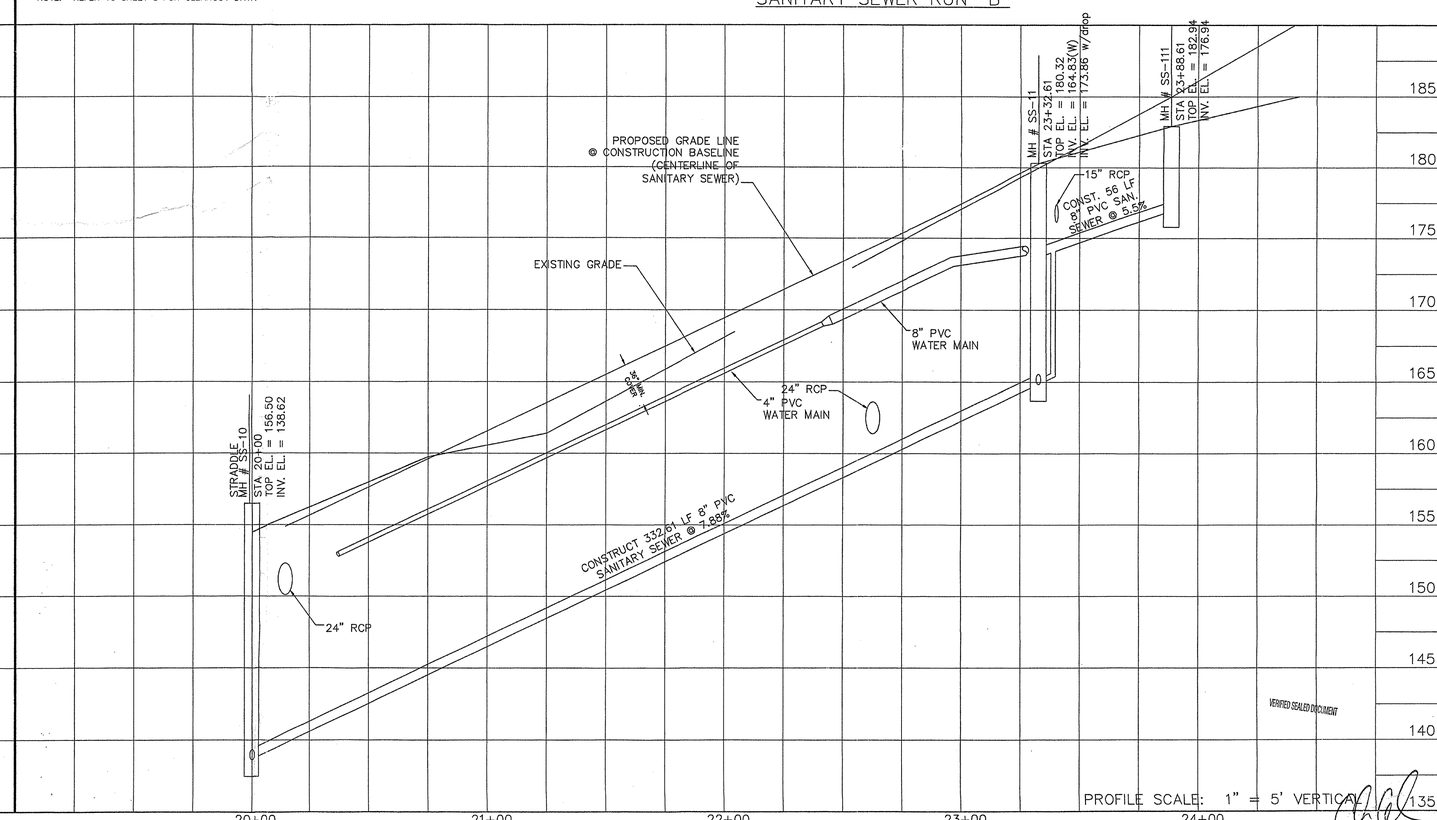
SANITARY SEWER RUN "A"



NOTE: REFER TO SHEET 8 FOR CLEANOUT DATA

SANITARY SEWER RUN "B"





VERIFIED SEALED DOCUMENT

PROFILE SCALE: 1" = 5' VERTICAL

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2	PER WATER UTILITY COMMENTS		3/23/06	AMD	CEB

ACTIVITY	INITIALS/EMP. NO.	DATE
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CHECKED BY:	CEB	12/17/05
CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASES II & III – 33 UNITS

DATE: 12-16-05

HORIZONTAL SCALE: 1"=30'

VERTICAL SCALE: N/A

SEC: 04 TWP: 1S RGE: 1E

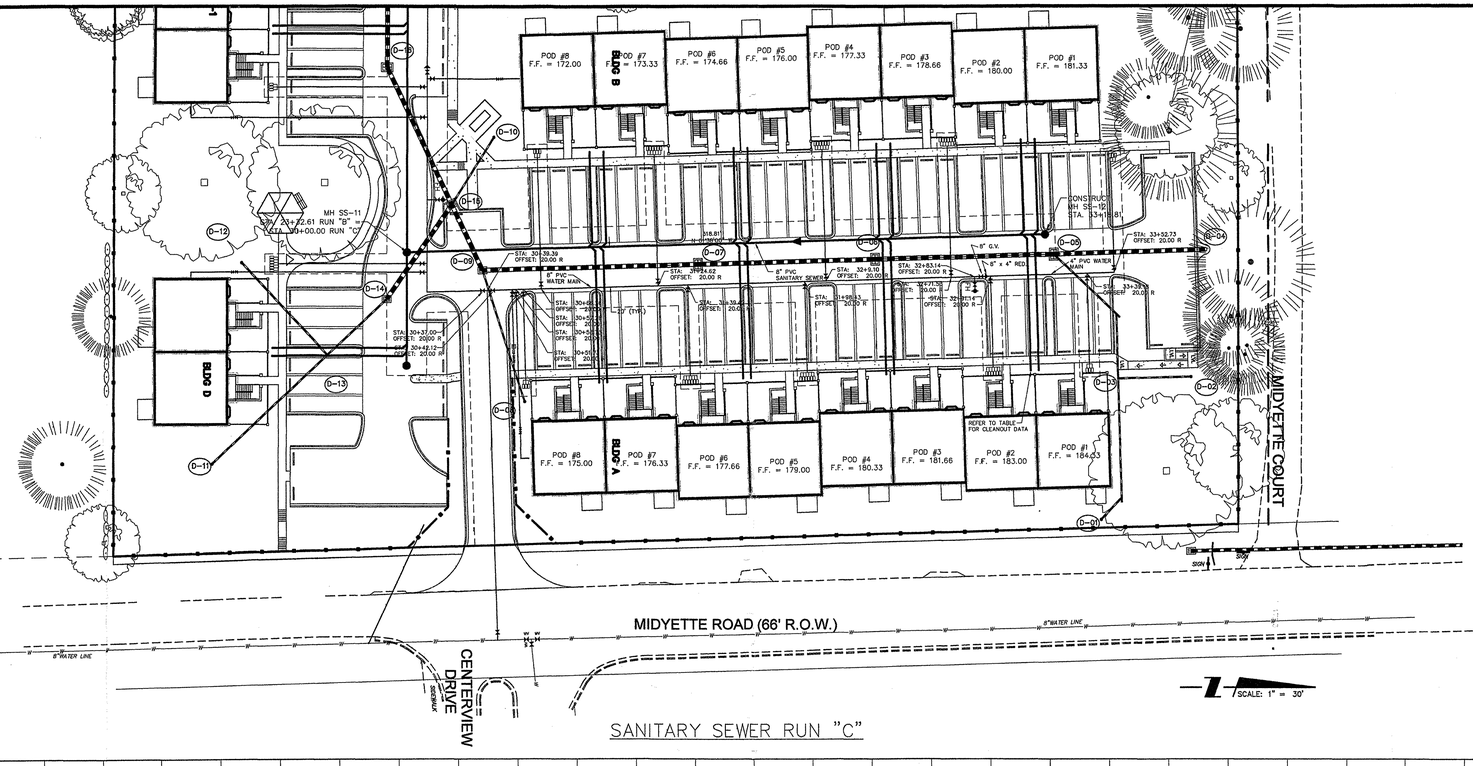
CROSS REFERENCE FILE NO.:

TITLE: PLAN AND PROFILE
RUN "A" 10+00.00 TO 12+81.18
RUN "B" 20+00.00 TO 23+88.61

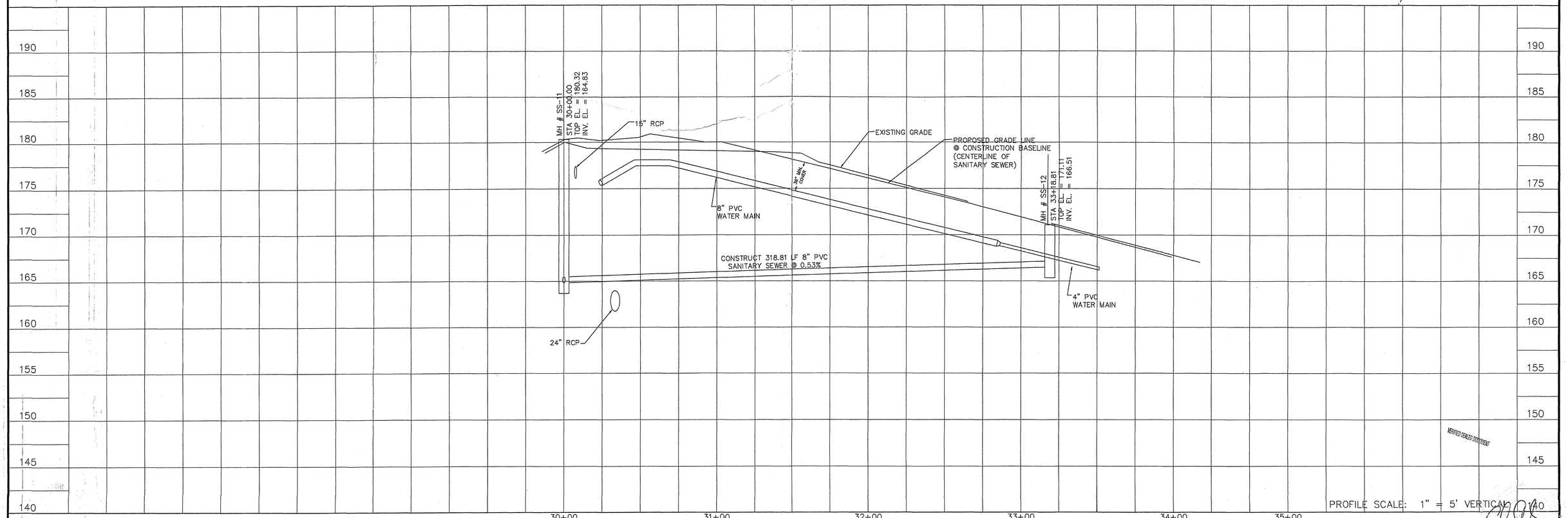
PROJECT NUMBER: 03672-000-00

SHEET NUMBER: 7 OF 8

3/24/06
CHRIS E. BROCKMEIER, P.E.
LICENSE # 36859



Building	Pod #	Ground Floor Elev.	Connection Location (Station)	Cleanout Location (offset)	Cleanout Invert
A	1	184.33	33+13.81	68'-R	179.73
A	2	183.00	33+9.81	68'-R	178.40
A	3	181.66	32+41.81	68'-R	177.06
A	4	180.33	32+37.81	68'-R	175.73
A	5	179.00	31+69.81	68'-R	174.40
A	6	177.66	31+65.81	68'-R	173.06
A	7	176.33	30+97.81	68'-R	171.73
A	8	175.00	30+93.81	68'-R	170.40
B	1	181.33	33+15.31	48'-L	176.73
B	2	180.00	33+8.31	48'-L	175.40
B	3	178.66	32+43.31	48'-L	174.06
B	4	177.33	32+36.31	48'-L	172.73
B	5	176.00	31+71.31	48'-L	171.40
B	6	174.66	31+64.31	48'-L	170.06
B	7	173.33	30+99.31	48'-L	168.73
B	8	172.00	30+92.31	48'-L	167.40
C	1	161.33	20+76.70	68'-R	153.73
C	2	164.67	20+80.70	68'-R	157.07
C	3	168.00	21+48.70	68'-R	160.40
C	4	171.34	21+52.70	68'-R	163.74
C	5	174.67	22+20.70	68'-R	167.07
C	6	178.00	22+24.70	68'-R	170.40
D	1	184.67	23+79.85	68'-R	177.80
D	2	186.00	23+83.85	68'-R	178.02



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1.	PER LUES COMMENTS AND WATER UTILITY COMMENTS		2/9/06	AMD	CEB
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ACTIVITY	INITIALS/EMP. NO.	DATE
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CONTRACT ADMIN. BY:		
WM APPROVED BY:		

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CLIENT: LINDERAND, INC.

PROJECT: REGENCY CONDOMINIUM PHASES II & III – 33 UNITS

DATE: 12-16-05
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: N/A
SEC: 04 TWP: 1S RGE: 1E

TITLE: PLAN AND PROFILE
RUN "C" 30+00.00 TO 33+18.81

CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 03672-000-00

3/24/06
CHRIS E. BROCKMEIER, P.E.
LICENSE # 56839

SHEET NUMBER: 8 OF 8