



**COLDWELL
BANKER
COMMERCIAL**
SUNSTAR REALTY



**COLDWELL BANKER
SUNSTAR REALTY**

FOR SALE

CBCWORLDWIDE.COM

I-75 & KINGS HIGHWAY

\$2,900,000

902-904 Kings Highway
Port Charlotte, FL 33980



OFFICE

Ray Brunner
415 608 1942
raybrunner@me.com

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**COLDWELL BANKER COMMERCIAL
SUNSTAR REALTY**
19700 Cochran Blvd, Port Charlotte, FL 33948
941.255.3497



SALE

I-75 & KINGS HIGHWAY

902-904 Kings Highway, Port Charlotte, FL 33980



OFFERING SUMMARY

Sale Price:	\$2,900,000
Lot Size:	4.97 Acres
Zoning:	CG
Market:	SW Florida
Submarket:	Port Charlotte, Sarasota
Traffic Count:	49,000
Price / SF:	\$17.50

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PROPERTY OVERVIEW

Area is experiencing tremendous growth in Residential and Commercial properties. The surrounding communities of East Port Charlotte, Deep Creek, Lake Suzy, and Kingsway Country Club provide a continual supply of new homes and residential building lots for this rapidly growing area. Publix, CVS, Wendy's, McDonalds, Burger King, Cracker Barrel, Kings Highway, Ace Hardware, Holiday Inn Express, Hampton Inn, Hess, Discount Auto Parts, Florida Healthcare and many many more. Two parcels totaling 4.97 acres at \$17.50/SQ FT with water and sewer, located between Ace Hardware and Cracker Barrel, signalized entrance directly to this site. Area is experiencing tremendous growth in Residential and Commercial properties. Has Electricity/Power, Water.

PROPERTY HIGHLIGHTS

- Superb Land Opportunity in Port Charlotte, FL
- Located near Publix, Wendy's, McDonalds
- 3 hotels in immediate vicinity
- Water and Sewer On-site, off-site retention
- Located in High Growth Corridor!

OTHER RESOURCES

[VIDEO](#)



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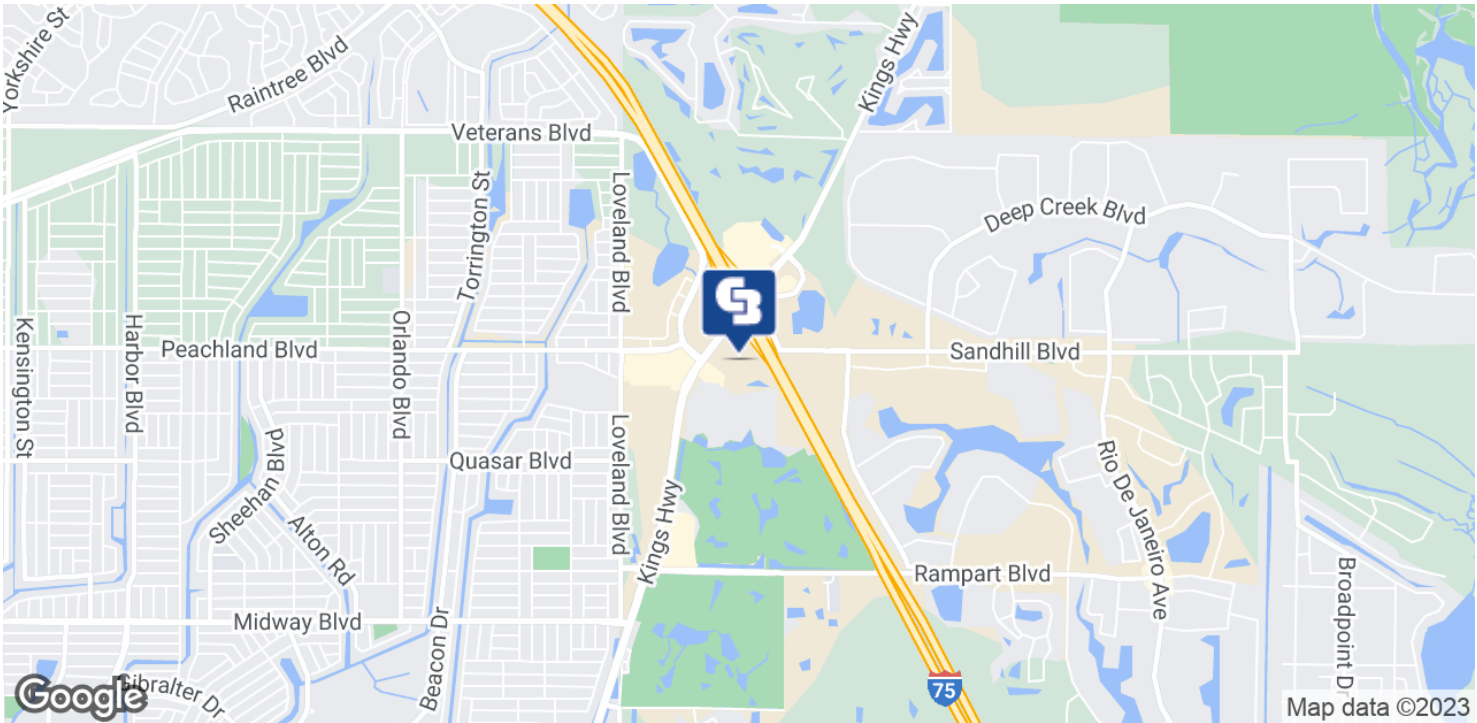
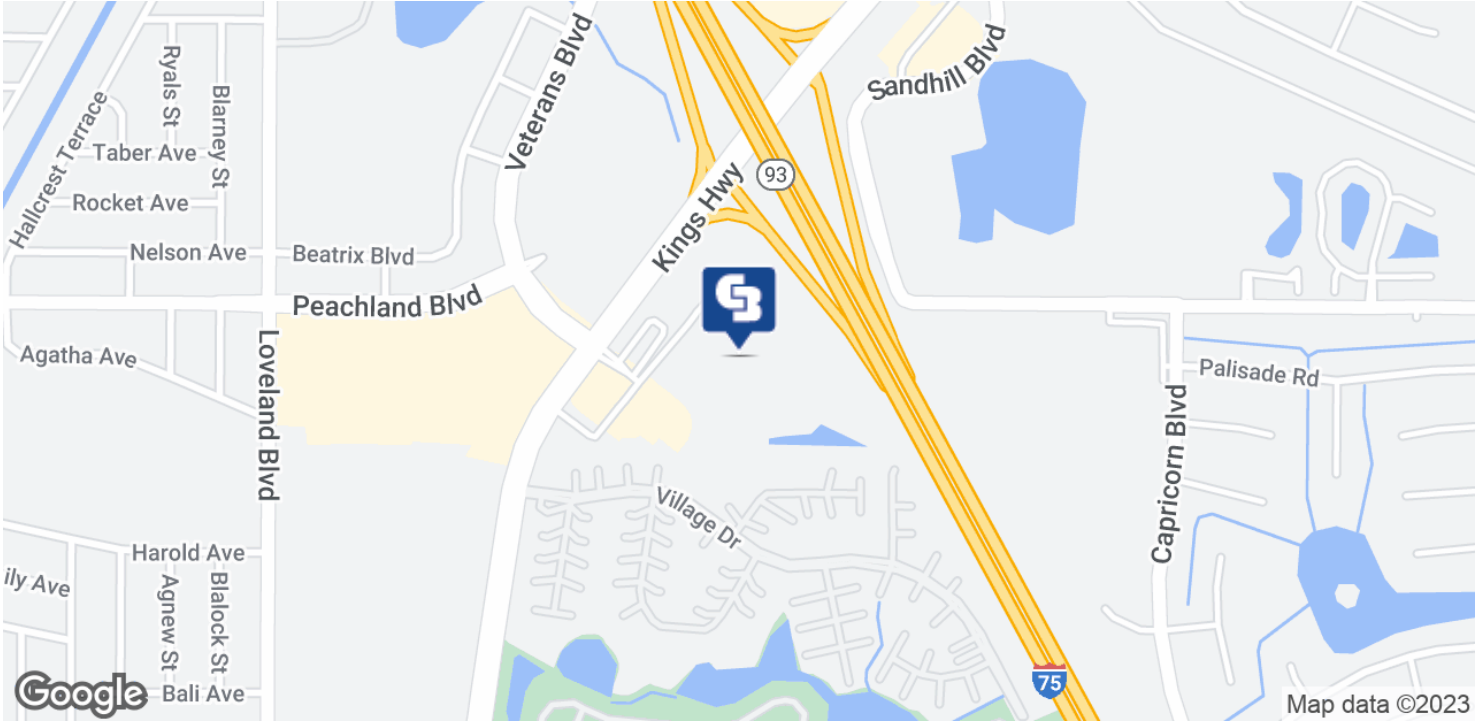
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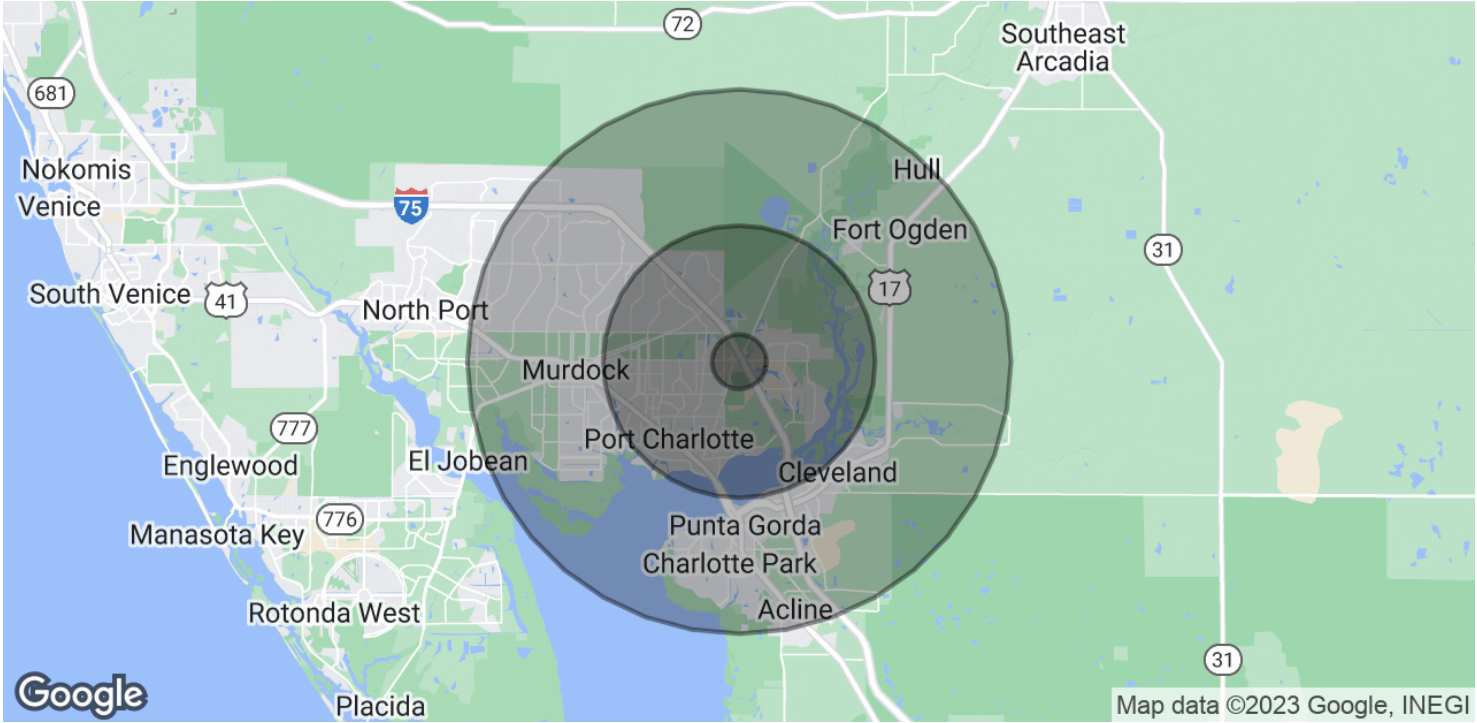
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POPULATION	1 MILE	5 MILES	10 MILES
Total Population	3,435	71,478	138,683
Average age	57.9	49.4	49.7
Average age (Male)	56.9	48.3	48.6
Average age (Female)	58.8	50.0	50.6

HOUSEHOLDS & INCOME	1 MILE	5 MILES	10 MILES
Total households	1,825	31,529	60,201
# of persons per HH	1.9	2.3	2.3
Average HH income	\$52,227	\$50,771	\$56,478
Average house value	\$183,662	\$195,332	\$246,609

* Demographic data derived from 2020 ACS - US Census



Executive Summary

902 Kings Hwy, Punta Gorda, Florida, 33980
Drive Time (10/23/18, 5:43 PM GMT-04:00): 5, 10, 15 minute radii

Prepared by Esri
Latitude: 27.01689
Longitude: -82.04994

	5 minutes	10 minutes	15 minutes
Population			
2000 Population	4,624	40,759	74,605
2010 Population	5,880	46,009	90,963
2018 Population	6,740	50,863	101,601
2023 Population	7,316	54,183	108,878
2000-2010 Annual Rate	2.43%	1.22%	2.00%
2010-2018 Annual Rate	1.67%	1.22%	1.35%
2018-2023 Annual Rate	1.65%	1.27%	1.39%
2018 Male Population	46.8%	47.3%	47.9%
2018 Female Population	53.2%	52.7%	52.1%
2018 Median Age	61.9	55.5	52.6

In the identified area, the current year population is 101,601. In 2010, the Census count in the area was 90,963. The rate of change since 2010 was 1.35% annually. The five-year projection for the population in the area is 108,878 representing a change of 1.39% annually from 2018 to 2023. Currently, the population is 47.9% male and 52.1% female.

Median Age

The median age in this area is 61.9, compared to U.S. median age of 38.3.

Race and Ethnicity

2018 White Alone	83.3%	82.7%	84.2%
2018 Black Alone	11.5%	10.7%	9.0%
2018 American Indian/Alaska Native Alone	0.3%	0.2%	0.3%
2018 Asian Alone	1.8%	1.7%	1.7%
2018 Pacific Islander Alone	0.0%	0.1%	0.1%
2018 Other Race	1.4%	2.0%	2.1%
2018 Two or More Races	1.6%	2.5%	2.7%
2018 Hispanic Origin (Any Race)	7.9%	9.6%	10.3%

Persons of Hispanic origin represent 10.3% of the population in the identified area compared to 18.3% of the U.S. population. Persons of Hispanic Origin may be of any race. The Diversity Index, which measures the probability that two people from the same area will be from different race/ethnic groups, is 41.5 in the identified area, compared to 64.3 for the U.S. as a whole.

Households

2000 Households	2,078	17,757	33,093
2010 Households	2,732	20,293	39,740
2018 Total Households	3,106	22,146	43,755
2023 Total Households	3,371	23,536	46,778
2000-2010 Annual Rate	2.77%	1.34%	1.85%
2010-2018 Annual Rate	1.57%	1.06%	1.17%
2018-2023 Annual Rate	1.65%	1.22%	1.35%
2018 Average Household Size	2.17	2.27	2.29

The household count in this area has changed from 39,740 in 2010 to 43,755 in the current year, a change of 1.17% annually. The five-year projection of households is 46,778, a change of 1.35% annually from the current year total. Average household size is currently 2.29, compared to 2.25 in the year 2010. The number of families in the current year is 27,622 in the specified area.

Data Note: Income is expressed in current dollars

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023. Esri converted Census 2000 data into 2010 geography.

October 23, 2018



Executive Summary

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	5 minutes	10 minutes	15 minutes
Median Household Income			
2018 Median Household Income	\$51,219	\$47,410	\$45,447
2023 Median Household Income	\$56,114	\$52,932	\$52,040
2018-2023 Annual Rate	1.84%	2.23%	2.75%
Average Household Income			
2018 Average Household Income	\$64,245	\$60,722	\$61,333
2023 Average Household Income	\$74,793	\$71,515	\$73,387
2018-2023 Annual Rate	3.09%	3.33%	3.65%
Per Capita Income			
2018 Per Capita Income	\$29,695	\$27,026	\$27,095
2023 Per Capita Income	\$34,551	\$31,648	\$32,209
2018-2023 Annual Rate	3.08%	3.21%	3.52%

Current median household income is \$45,447 in the area, compared to \$58,100 for all U.S. households. Median household income is projected to be \$52,040 in five years, compared to \$65,727 for all U.S. households

Current average household income is \$61,333 in this area, compared to \$83,694 for all U.S. households. Average household income is projected to be \$73,387 in five years, compared to \$96,109 for all U.S. households

Current per capita income is \$27,095 in the area, compared to the U.S. per capita income of \$31,950. The per capita income is projected to be \$32,209 in five years, compared to \$36,530 for all U.S. households

Housing			
2000 Total Housing Units	2,516	20,833	39,399
2000 Owner Occupied Housing Units	1,848	14,856	26,652
2000 Renter Occupied Housing Units	231	2,900	6,441
2000 Vacant Housing Units	437	3,077	6,306
2010 Total Housing Units	3,681	26,202	51,462
2010 Owner Occupied Housing Units	2,288	15,875	29,612
2010 Renter Occupied Housing Units	444	4,418	10,128
2010 Vacant Housing Units	949	5,909	11,722
2018 Total Housing Units	4,178	28,216	55,779
2018 Owner Occupied Housing Units	2,574	17,092	32,270
2018 Renter Occupied Housing Units	532	5,054	11,486
2018 Vacant Housing Units	1,072	6,070	12,024
2023 Total Housing Units	4,516	29,752	59,094
2023 Owner Occupied Housing Units	2,847	18,600	35,586
2023 Renter Occupied Housing Units	525	4,936	11,193
2023 Vacant Housing Units	1,145	6,216	12,316

Currently, 57.9% of the 55,779 housing units in the area are owner occupied; 20.6%, renter occupied; and 21.6% are vacant. Currently, in the U.S., 56.0% of the housing units in the area are owner occupied; 32.8% are renter occupied; and 11.2% are vacant. In 2010, there were 51,462 housing units in the area - 57.5% owner occupied, 19.7% renter occupied, and 22.8% vacant. The annual rate of change in housing units since 2010 is 3.65%. Median home value in the area is \$163,994, compared to a median home value of \$218,492 for the U.S. In five years, median value is projected to change by 3.49% annually to \$194,720.

Data Note: Income is expressed in current dollars

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023. Esri converted Census 2000 data into 2010 geography.

October 23, 2018



Traffic Count Profile

902 Kings Hwy, Punta Gorda, Florida, 33980
Drive Time (10/23/18, 5:43 PM GMT-04:00): 5, 10, 15 minute radii

Prepared by Esri
Latitude: 27.01689
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Distance:	Street:	Closest Cross-street:	Year of Count:	Count:
0.15		(0.0 miles)	2005	6,400
0.27		(0.0 miles)	2005	4,200
0.27		(0.0 miles)	2005	6,100
0.39		(0.0 miles)	2005	4,300
0.69	I-75	Rampart Blvd (0.56 miles SE)	2005	51,500
0.76	I-75	Kings Hwy (0.55000001 miles SE)	2005	49,000
2.90		(0.0 miles)	2005	1,000
2.92		(0.0 miles)	2005	950
3.12		(0.0 miles)	2005	3,400
3.15		(0.0 miles)	2005	3,600
3.35	I-75	Harbor View Rd (0.33000001 miles NW)	2005	60,000
3.91	Tamiami Trl	Edgewater Dr (0.07 miles SE)	2005	49,000
4.00	Tamiami Trl	Elkcam Blvd (0.04 miles SE)	1999	47,000
4.30	Tamiami Trl	Midway Blvd (0.13 miles NW)	2005	60,000
4.40	Tamiami Trl	Midway Blvd (0.06 miles SE)	2005	62,000
4.58	Tamiami Trl	Melbourne St (0.18000001 miles NW)	2005	28,500
5.10	Tamiami Trl	Toledo Blade Blvd (0.15000001 miles NW)	2001	51,500
5.20	Marion Ave	E Marion Ave (0.03 miles SW)	2005	11,500
5.26	Tamiami Trl	Toledo Blade Blvd (0.06 miles E)	2005	58,500
5.32	E Olympia Ave	Cooper St (0.03 miles W)	2005	9,000
5.48	E Marion Ave	Dupont St (0.01 miles SW)	2005	12,500
5.54	E Marion Ave	Nesbit St (0.05 miles NE)	2005	6,800
5.55	E Olympia Ave	Wood St (0.02 miles NE)	2005	9,500
5.56	Duncan Rd	Constitutional Ave (0.01 miles NE)	2005	15,200
5.59	Duncan Rd	I-75 (0.1 miles E)	2005	18,000
5.62	Duncan Rd	Windsor Rd (0.06 miles NE)	2005	18,900
5.62	E Olympia Ave	Nesbit St (0.05 miles NE)	2005	13,000
5.63	Tamiami Trl	Herald Ct (0.02 miles NW)	2005	20,000
5.68	Tamiami Trl	E Virginia Ave (0.04 miles SE)	2001	17,500
5.71		(0.0 miles)	2005	7,000

Data Note: The Traffic Profile displays up to 30 of the closest available traffic counts within the largest radius around your site. The years of the counts in the database range from 2018 to 1963. Over 25% of the counts were taken between 2010 and 2018 and over 77% of the counts were taken between 2000 and 2018. Traffic counts are identified by the street on which they were recorded, along with the distance and direction to the closest cross-street. Distances displayed as 0.00 miles (due to rounding), are closest to the site. A traffic count is defined as the two-way Average Daily Traffic (ADT) that passes that location.

Source: ©2018 Kalibrate Technologies (Q2 2018).

October 23, 2018

The Elders

Dominant Tapestry Segment

KEY FACTS



6,740

Total Population



\$190,942

Median Home Value



199

Businesses



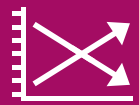
6,700

Daytime Population



61.9

Median Age



1.7%

2010-17 Pop
Growth Rate



\$29,695

Per Capita Income



2.2

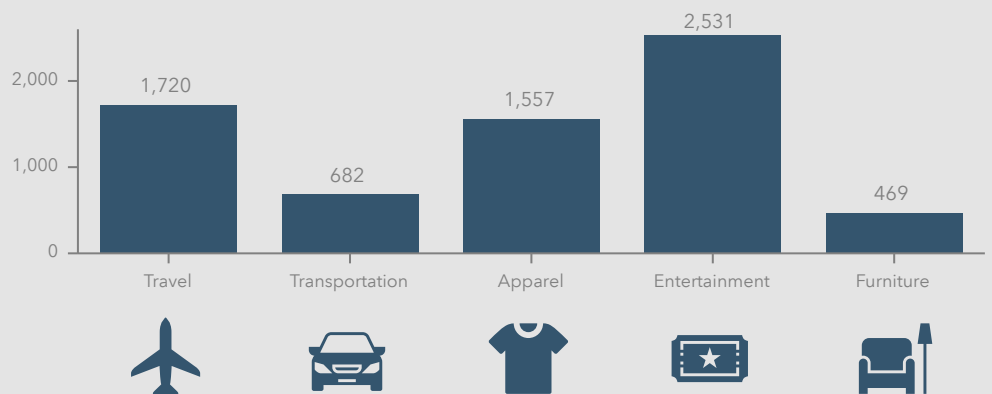
Avg Household
Size



\$51,219

Median Household
Income

KEY SPENDING FACTS (\$)



esri®



SALE

I-75 & KINGS HIGHWAY

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DISCLAIMER

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To the extent Owner or any agent of Owner corresponds with any prospective purchaser, any prospective purchaser should not rely on any such correspondence or statements as binding Owner. Only a fully executed Real Estate Purchase Agreement shall bind the property and each prospective purchaser proceeds at its own risk. here...

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RAY BRUNNER

Commercial Broker

raybrunner@me.com

Direct: 415.608.1942

PROFESSIONAL BACKGROUND

Ray Brunner's career covers over forty years in Senior Management positions, real estate leasing and development.

Most notably GAP Stores where he held various positions including VP of Merchandising & Design and General Manager of GAP KIDS, Esprit Europe where he was President of European Retail operations and oversaw the development and roll out of company owned retail stores, Adidas America where he served as President of retail operations and executed a retail roll out for company owned stores, Eddie Bauer where he was VP of Real Estate and Store Operations, and DWR where he was a member of the founding team and served as President and CEO. His background provides an in-depth understanding of land and building acquisition for both retail locations and distribution facilities. He is considered an expert at retail site selection and growth strategies.

In the last three years he has transacted over \$30,000,000 in business and currently manages over \$70,000,000 in active listings.

EDUCATION

Education: Attended Western Connecticut State College and did his graduate work at UCLA.

MEMBERSHIPS

CoStar Power Broker

Life Member of Mensa

Member of the Presidents Association of the American Management Association

ICSC Member

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