

FOR SALE

COMMERCIAL LAND FOR DEVELOPMENT

State Road 52 & Bellamy Brothers Blvd. San Antonio, FL 33576



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Sale Price **\$999,000**

OFFERING SUMMARY

| | |
|-----------|--------------------------|
| Lot Size: | 1.5 Acres |
| Zoning: | I-1 |
| Parcel ID | 12-25-19-0000-00900-0080 |
| Frontage | 329' |

PROPERTY OVERVIEW

An exceptional opportunity to own a significant piece of industrial land in the thriving town of San Antonio, Florida! The 1.51-acre parcel is strategically located along State Road 52, offering excellent visibility and easy access to major transportation routes. Due to its versatile industrial zoning, this property can be used for a variety of purposes, catering to many different types of businesses and industries. This prime piece of land is an ideal location for setting up a manufacturing facility, warehousing operation, distribution center, or commercial complex.

PROPERTY HIGHLIGHTS

- Zoned Light Industrial; Water & Sewer Available
- Direct Proximity of the Main East/West and North/South Thoroughfares
- 2 Miles West of I-75 Which Sees More Than 100,000 VPD
- 3 Miles West of the Nation's First "Connected City"
- More Than 5,000 New SFR in Development Just 3 Miles East
- Additional New Development Includes 100 Room Hotel, 11.2 Acres of Retail/Commercial and 23.5 Acres of Industrial Construction

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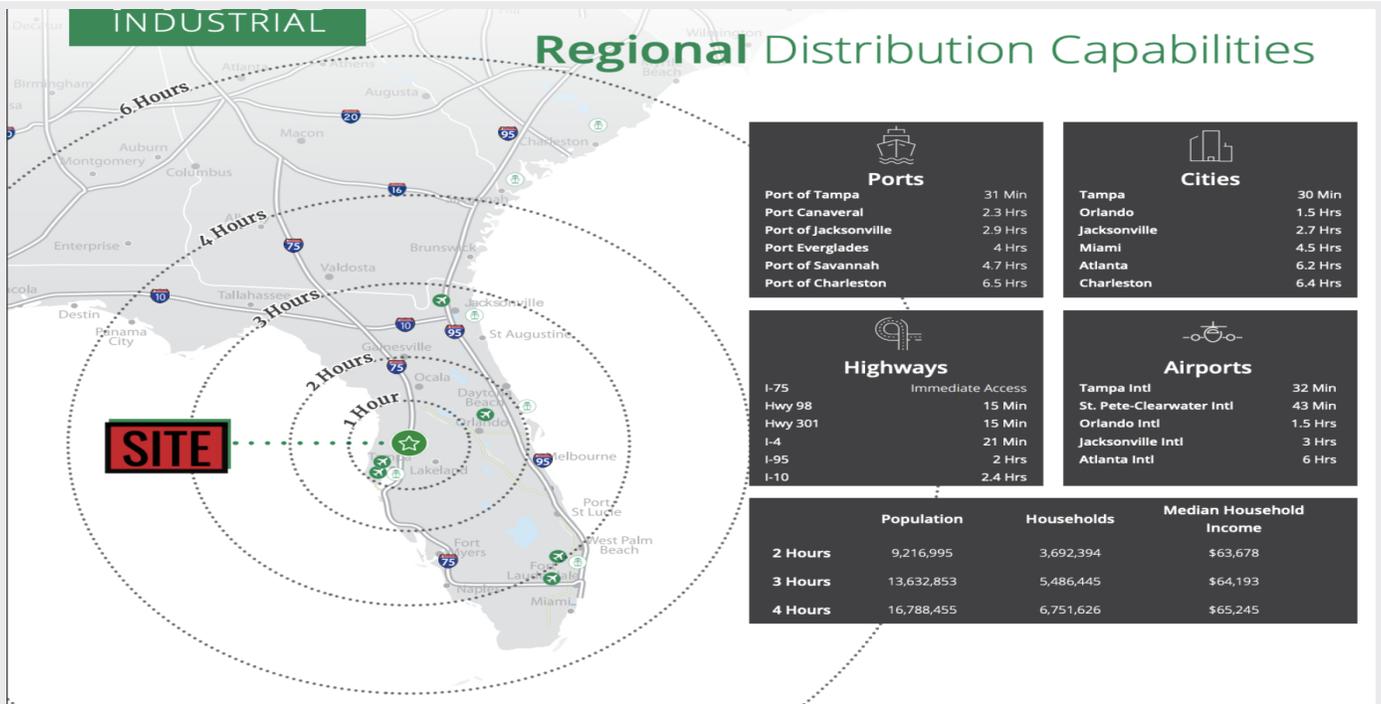


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THE CONNECTED CITY

Its location near The Connected City cannot be overstated. What is Connected City? In an area that was pre-designated for economic growth and development, the Connected City is focused on the next-generation experience of its residents. This is not simply rooftops, streets, and commerce, this is Smart Homes, autonomous vehicle paths and, a business core designed to attract and support the best and brightest. Built from the ground up on a framework of the fastest internet and Wi-Fi speeds available, the Connected City is positioned to be the absolute best place imaginable for a true 21st-century live-play-work model. There are two Metro Places master-planned communities inside of the Connected City, EPPERSON (4000 planned homes) and MIRADA (5000 planned homes). Each community features a Metro Lagoon by Crystal Lagoons. These communities will showcase multiple builders with starting prices from the \$200s to over \$700s.

LOCATION DETAILS

| | |
|---------------------|-------|
| County | Pasco |
| Signal Intersection | No |

In dramatic contrast to the next generation tech-based Connected City, is the historic town of San Antonio, on which this parcel is located. This area is the gateway from I-75 to the uniquely old Florida town of San Antonio, where shoppers delight in the picturesque downtown, with its array of antique shops, boutiques, art, and unique restaurants all set within historic buildings. Citizens have made it a priority to preserve their history and landmarks in the town. This entire area is poised for business growth and economic expansion. A stable workforce, business-friendly government, great transportation options and, a solid quality of life environment are factors that contribute to the many benefits here.

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Double Branch Pasco



Artists rendering of the DoubleBranch, a development which will break ground on its first phase next week. It is planned as nearly 1,000 acres of mixed use projects at Interstate 75 and State Road 52 in Pasco County.

THE MASSIVE MIXED-USE DEVELOPMENT IS UNDERWAY AT INTERSTATE 75 AND STATE ROAD 52.

Double Branch Development Inc. has begun its first phase, which includes 2.5 million square feet of industrial and life sciences development and 100 acres of mixed-use development. When the overall project, previously known as the Pasco Town Center, is completed, it is expected to generate \$600 million in economic impact. The build-out cost of the total site is expected to hit \$2B, including 4M SF of industrial space, 725,000 SF of offices, 400,000 SF of retail, 3,500 housing units and 300 hotel beds.



Artist rendering of the future DoubleBranch development at Interstate 75 and State Road 52

SR 52 CORRIDOR

It is adjacent to the connected city corridor, a 7,800-acre swath of the county stretching from Wesley Chapel into eastern Pasco. Part of the draw of the connected city district is a planned high-speed internet system to support businesses that are located there. The site is also close to the new SR 52, a four-lane, 7-mile Hwy costing \$82M. Earlier this year, the FDT opened the first two lanes of the new stretch, which provides a direct route from just east of I-75 to U.S. 301 at the southern tip of Dade City.

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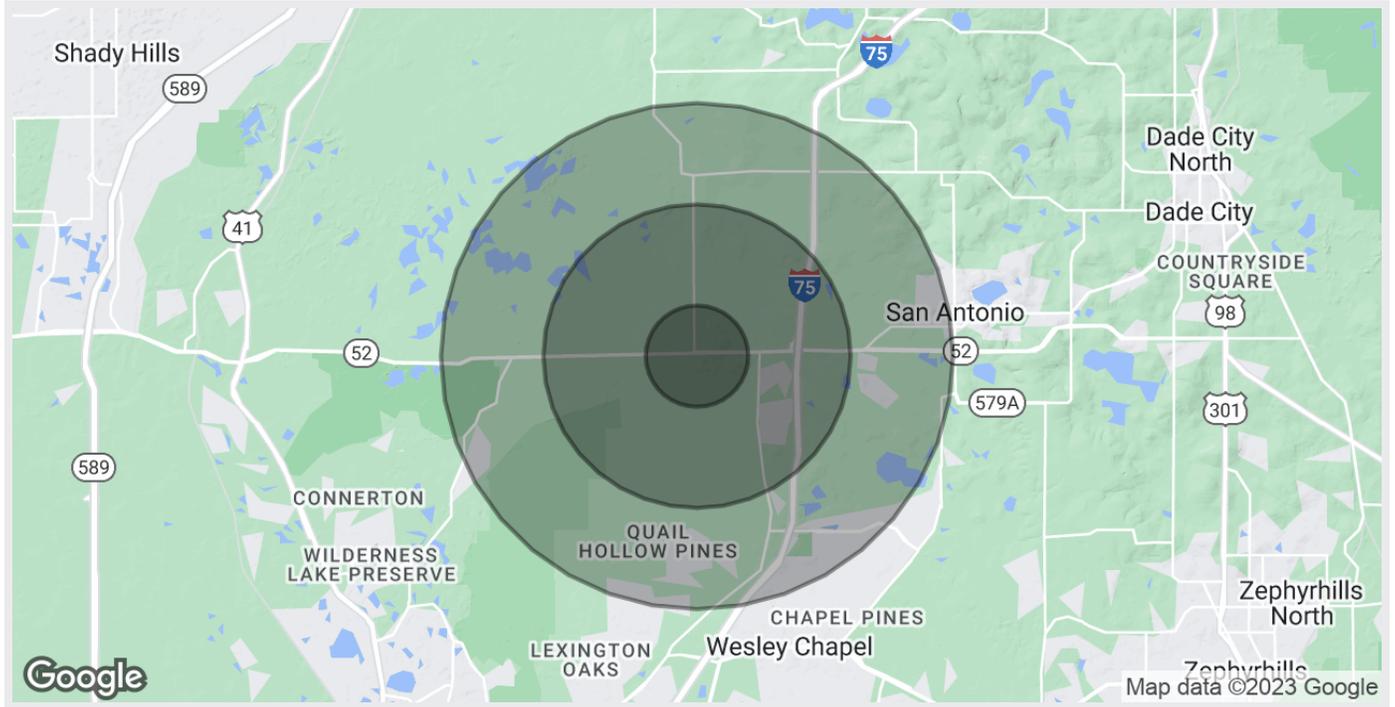


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| POPULATION | 1 MILE | 3 MILES | 5 MILES |
|----------------------|--------|---------|---------|
| Total Population | 313 | 4,721 | 17,154 |
| Average age | 40.6 | 56.5 | 44.6 |
| Average age (Male) | 42.1 | 58.3 | 43.5 |
| Average age (Female) | 39.3 | 55.7 | 45.7 |

| HOUSEHOLDS & INCOME | 1 MILE | 3 MILES | 5 MILES |
|---------------------|-----------|-----------|-----------|
| Total households | 90 | 2,260 | 6,632 |
| # of persons per HH | 3.5 | 2.1 | 2.6 |
| Average HH income | \$115,668 | \$90,021 | \$89,190 |
| Average house value | \$327,983 | \$248,648 | \$252,020 |

* Demographic data derived from 2020 ACS - US Census

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