

FOR LEASE

21

SEAWAY PLAZA

701-703 Canton St., Ogdensburg, NY 13669



PROPERTY HIGHLIGHTS

- Primary Shopping Plaza in Ogdensburg
- Join Save A Lot, Harbor Freight and More
- Spaces from 3,000 - 6,200+/- Square Feet
- Great Road Visibility
- Well Maintained Plaza
- Motivated Landlord
- Several Move-in-ready Options

DEMOGRAPHICS	1 MILE	5 MILES	10 MILES
Total Households	1,238	7,365	9,639
Total Population	2,815	18,639	24,466
Average HH Income	\$43,928	\$46,321	\$49,139

PROPERTY DESCRIPTION

Seaway Shopping Center is a busy centrally located center with stable anchor tenants such as Harbor Freight, Family Dollar and Save A lot. Other tenants include a liquor store, nail salon, pizza shop and Cricket Wireless. Spaces from 3,000 to 6,200 sq/ft are available to fit your needs. Looking for an outparcel? We have a 2,500 sq/ft building approved to build as well!

OFFERING SUMMARY	
Lease Rate:	\$12.00 SF/yr (NNN)
Available SF:	3,000 - 6,200 SF
Building Size:	100,086 SF

JOE DESIDERIO

315.741.0304

joe@c21bridgeway.com

ALEXANDER LISCHAK

315.928.1500

alex@c21bridgeway.com

CENTURY 21

COMMERCIAL.

Bridgeway Realty

The information contained in this property summary is based, in part, upon information provided by the owner of the property. This property summary is not a representation or warranty of any kind by the property owner or by C21 Bridgeway Commercial Realty. This property summary is not a substitute for a physical inspection and investigation of the property. All prospective buyers are encouraged to perform their own physical inspection and investigation of the property and are encouraged to check public records pertaining to the property.

SEAWAY PLAZA

701-703 Canton St., Ogdensburg, NY 13669



JOE DESIDERIO

315.741.0304

joe@c21bridgeway.com

ALEXANDER LISCHAK

315.928.1500

alex@c21bridgeway.com

**CENTURY 21
COMMERCIAL.**

Bridgeway Realty

The information contained in this property summary is based, in part, upon information provided by the owner of the property. This property summary is not a representation or warranty of any kind by the property owner or by C21 Bridgeway Commercial Realty. This property summary is not a substitute for a physical inspection and investigation of the property. All prospective buyers are encouraged to perform their own physical inspection and investigation of the property and are encouraged to check public records pertaining to the property.

FOR LEASE



SEAWAY PLAZA

701-703 Canton St., Ogdensburg, NY 13669



TENANT MIX DEC. 2023		
Unit #	Tenant	SF
102	AVAILABLE	6,200
103-A	Family Dollar	9,300
103-B	AVAILABLE	6,000
104-F	Sholette's Liquor Store	2,514
105	AVAILABLE	3,000
106	Legend Smoke Shop	1,767
107	Save-A-Lot	17,647
109/110	ARA Shoes Inc.	17,224
111	AVAILABLE	6,200
112	Harbor Freight Tools	16,160
113/114	AVAILABLE	4,416
115	Cell Phones for Less	1,577
116	Perfection Nail Bar & Organic Spa	2,000
117	H&R Block	1,200
118	Big Cheese Pizza	2,000
15 Units	TOTALS:	97,205

CENTURY 21 Bridgeway Commercial Realty

Multiple Suites. Contact Agent for Current Availability.

LEASE INFORMATION

Lease Type:	NNN
Total Space:	3,000 - 6,200 SF

Lease Term:	Negotiable
Lease Rate:	\$12.00 SF/yr

AVAILABLE SPACES

SUITE	TENANT	SIZE (SF)	LEASE TYPE	LEASE RATE	DESCRIPTION
Seaway Shopping Center	Available	3,000 - 6,200 SF	NNN	\$12.00 SF/yr	-

JOE DESIDERIO
315.741.0304
joe@c21bridgeway.com

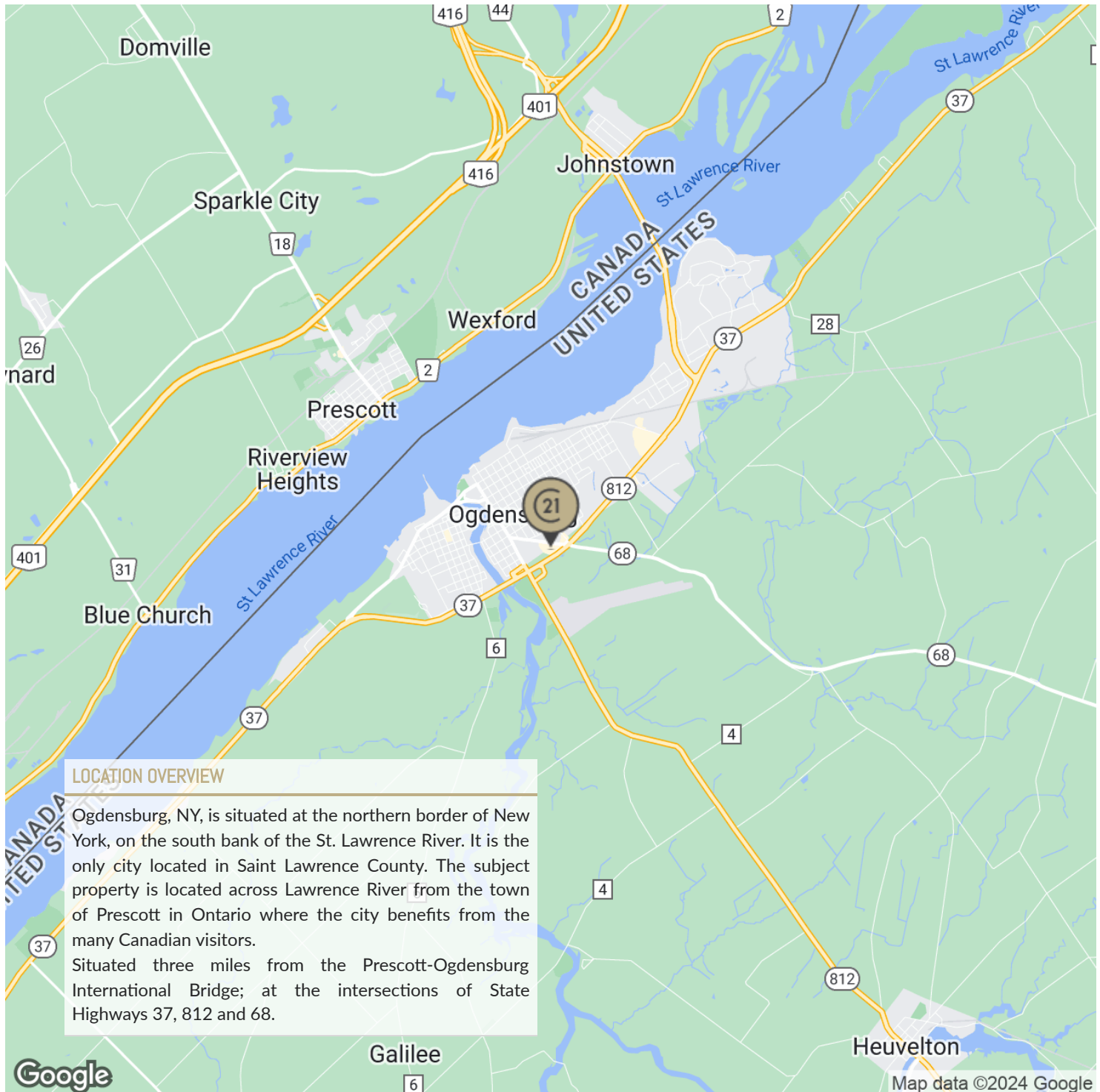
ALEXANDER LISCHAK
315.928.1500
alex@c21bridgeway.com

CENTURY 21
COMMERCIAL
Bridgeway Realty

The information contained in this property summary is based, in part, upon information provided by the owner of the property. This property summary is not a representation or warranty of any kind by the property owner or by C21 Bridgeway Commercial Realty. This property summary is not a substitute for a physical inspection and investigation of the property. All prospective buyers are encouraged to perform their own physical inspection and investigation of the property and are encouraged to check public records pertaining to the property.

SEAWAY PLAZA

701-703 Canton St., Ogdensburg, NY 13669



JOE DESIDERIO

315.741.0304

joe@c21bridgeway.com

ALEXANDER LISCHAK

315.928.1500

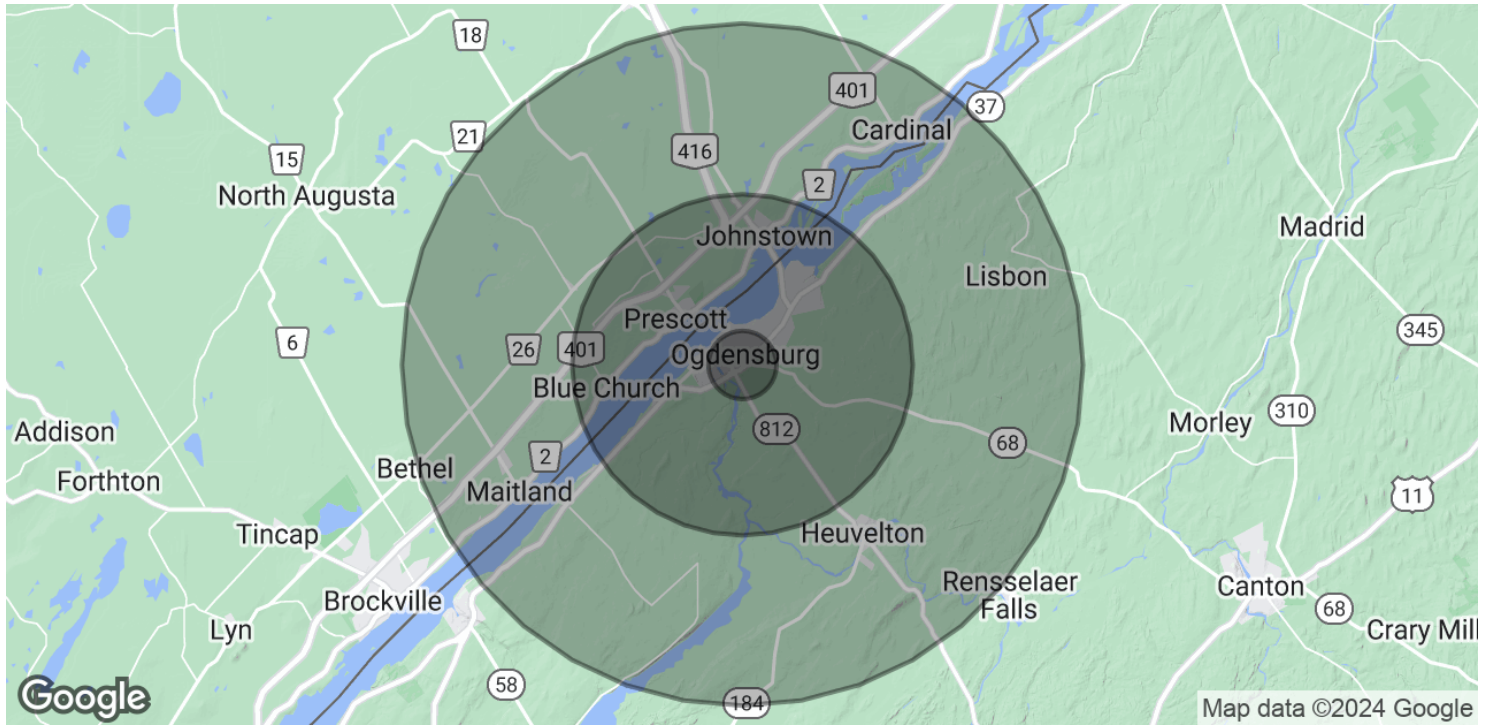
alex@c21bridgeway.com

**CENTURY 21
COMMERCIAL.**
Bridgeway Realty

The information contained in this property summary is based, in part, upon information provided by the owner of the property. This property summary is not a representation or warranty of any kind by the property owner or by C21 Bridgeway Commercial Realty. This property summary is not a substitute for a physical inspection and investigation of the property. All prospective buyers are encouraged to perform their own physical inspection and investigation of the property and are encouraged to check public records pertaining to the property.

SEAWAY PLAZA

701-703 Canton St., Ogdensburg, NY 13669



POPULATION	1 MILE	5 MILES	10 MILES
Total Population	2,815	18,639	24,466
Average Age	42.0	40.3	40.9
Average Age (Male)	40.1	39.2	39.9
Average Age (Female)	44.3	42.6	43.0
HOUSEHOLDS & INCOME	1 MILE	5 MILES	10 MILES
Total Households	1,238	7,365	9,639
# of Persons per HH	2.3	2.5	2.5
Average HH Income	\$43,928	\$46,321	\$49,139
Average House Value	\$106,703	\$108,310	\$107,971

* Demographic data derived from 2020 ACS - US Census

JOE DESIDERIO

315.741.0304

joe@c21bridgeway.com

ALEXANDER LISCHAK

315.928.1500

alex@c21bridgeway.com

CENTURY 21
COMMERCIAL.

Bridgeway Realty

The information contained in this property summary is based, in part, upon information provided by the owner of the property. This property summary is not a representation or warranty of any kind by the property owner or by C21 Bridgeway Commercial Realty. This property summary is not a substitute for a physical inspection and investigation of the property. All prospective buyers are encouraged to perform their own physical inspection and investigation of the property and are encouraged to check public records pertaining to the property.