MINOR SITE PLAN MODIFICATION FOR

SAUER BUILDING

SECTION 39, TOWNSHIP 15 S, RANGE 33 E
39-15-33-01-21-0030

130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114
JUNE 2015
REVISED AUGUST 5, 2015

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LEGAL DESCRIPTION

THE NORTHERLY 1/2 OF LOT 3, ALL OF LOTS 4 AND 5 AND THE SOUTHERLY 15 FEET OF LOT 6, BLOCK 21, HODGMAN'S DAYTONA, ACCORDING TO THE MAP THEREOF RECORDED IN MAP BOOK 2, PAGES 82 AND 83, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

PROJECT STATEMENT

THE PROPERTY OWNER PROPOSES EXTERIOR AND INTERIOR BUILDING MODIFICATIONS TO PROVIDE OFFICE SPACE WITHIN THE EXISTING BUILDING ENVELOPE. THE EXISTING BUILDING IS 25,368 SF (AC) (8,746 SF 1ST FLOOR & 16,622 SF 2ND FLOOR). PROPOSE A 1-STORY, 1,440 SQUARE FOOT MAINTENANCE BUILDING. SITE WORK CONSISTS OF PAVEMENT DEMOLITION TO CLOSE ALL DRIVEWAY CONNECTIONS TO SEGRAVE STREET, PARKING LOT LAYOUT AND STRIPING MODIFICATIONS, FENCING AND LANDSCAPE IMPROVEMENTS.

DAYTONA BEACH PRECONSTRUCTION MEETING

NO CONSTRUCTION ON THE PROPOSED PORTIONS OF THIS PROPERTY MAY COMMENCE UNTIL A MANDATORY PRE-CONSTRUCTION MEETING IS HELD WITH THE CITY, AS STATED IN THE APPROVED DEVELOPMENT ORDER FROM THE CITY OF DAYTONA BEACH. ANY CESSATION OF CONTINUOUS ON-GOING CONSTRUCTION ON THIS PROJECT OF 90 DAYS OR MORE SHALL TRIGGER A REQUIREMENT FOR ANOTHER PRE-CONSTRUCTION MEETING TO BE HELD WITH THE CITY PRIOR TO CONTINUATION OF THE CONTINUING CONSTRUCTION.

DAYTONA BEACH REMODEL NOTE

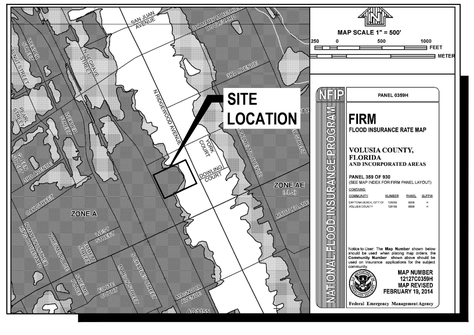
ANY REMODEL THAT EXCEEDS 50% OF THE VALUE OF THE STRUCTURE IS A SUBSTANTIAL IMPROVEMENT AND MUST COMPLY WITH THE CITY'S FINISHED FLOOR ELEVATION REQUIREMENT OF 1 FT. ABOVE THE BFE. AS AN ALTERNATIVE TO ELEVATING THE FINISHED FLOOR OF THE BUILDING, THE BUILDING CAN BE BROUGHT INTO COMPLIANCE BY DRY-FLOOD PROOFING MEASURES. THE DESIGN MUST BE CERTIFIED BY A REGISTERED DESIGN PROFESSIONAL. IF A SUBSTANTIAL IMPROVEMENT IS PROPOSED, THE ENGINEER OF RECORD (EOR) IS TO ESTABLISH THE BFE BY SIMPLIFIED METHODS.

JURISDICTIONAL AGENCY PERMIT No.

CITY OF DAYTONA BEACH (SITE PLAN MODIFICATION) DEV2015-072

LOCATION MAP

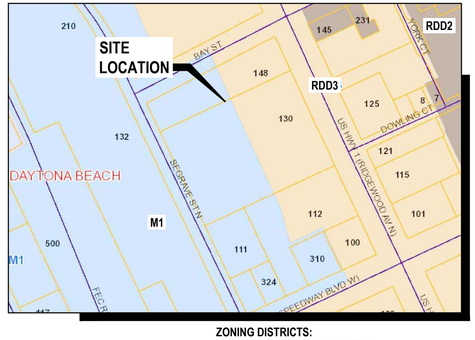
SCALE: 1" = 500'



FLOOD ZONE MAP

FLOOD ZONES "A" AND "X"

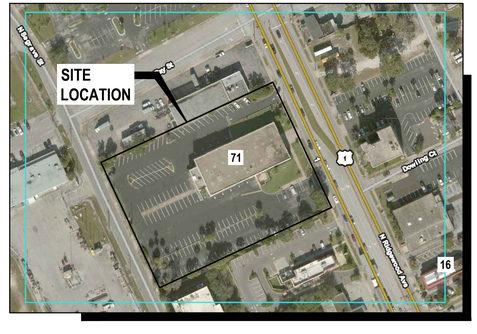
SCALE: 1" = 800'



ZONING MAP

ZONING DISTRICTS:
M1 - LOCAL SERVICE INDUSTRY
RDD3 - REDEVELOPMENT DOWNTOWN, COMMERCIAL

SCALE: 1" = 200'



SOILS MAP

SOIL TYPE: (71) URBAN LAND

SCALE: 1" = 150'

PROJECT TEAM

PROPERTY OWNER/ APPLICANT: BRUCE M. SAUER
5070 CAPE COLE BOULEVARD
PUNTA GORDA, FL 33955
PHONE: (504) 957-7224
EMAIL: BRUCESAUER@GMAIL.COM

ENGINEER: NEWKIRK ENGINEERING, INC.
1370 NORTH US1, SUITE 204
ORMOND BEACH, FL 32174
PHONE: (386) 290-7599
EMAIL: HARRY@NEWKIRK-ENGINEERING.COM

ARCHITECT: BPF DESIGN INCORPORATED
207 FAIRVIEW AVENUE
DAYTONA BEACH, FL 32114
PHONE: (386) 257-0502
FAX: (386) 257-1050
EMAIL: BPFDESIGN@CFL.RR.COM

SURVEYOR: J.J. MATEJKA & ASSOCIATES, INC.
408 HARVEY AVENUE
DAYTONA BEACH, FL 32114
PHONE: (386) 252-7371
EMAIL: JJMATEJKA@HOTMAIL.COM

LANDSCAPE ARCHITECT: RICHARD L. POORE, LA
300 GATEWOOD COURT
ORMOND BEACH, FL 32174
PHONE: (386) 212-8491
EMAIL: THEPOORES@BELLSOUTH.NET

CONTACT NUMBERS

CITY OF DAYTONA BEACH PERMITS & LICENSING DIVISION: (386) 671-8140
FLORIDA POWER & LIGHT: (386) 322-3420
PEOPLES GAS SYSTEM (TECO): (386) 671-2232
BELLSOUTH: (386) 257-7950
BRIGHTHOUSE: (386) 788-4198

CITY APPROVAL STAMP
DEV 2015-072

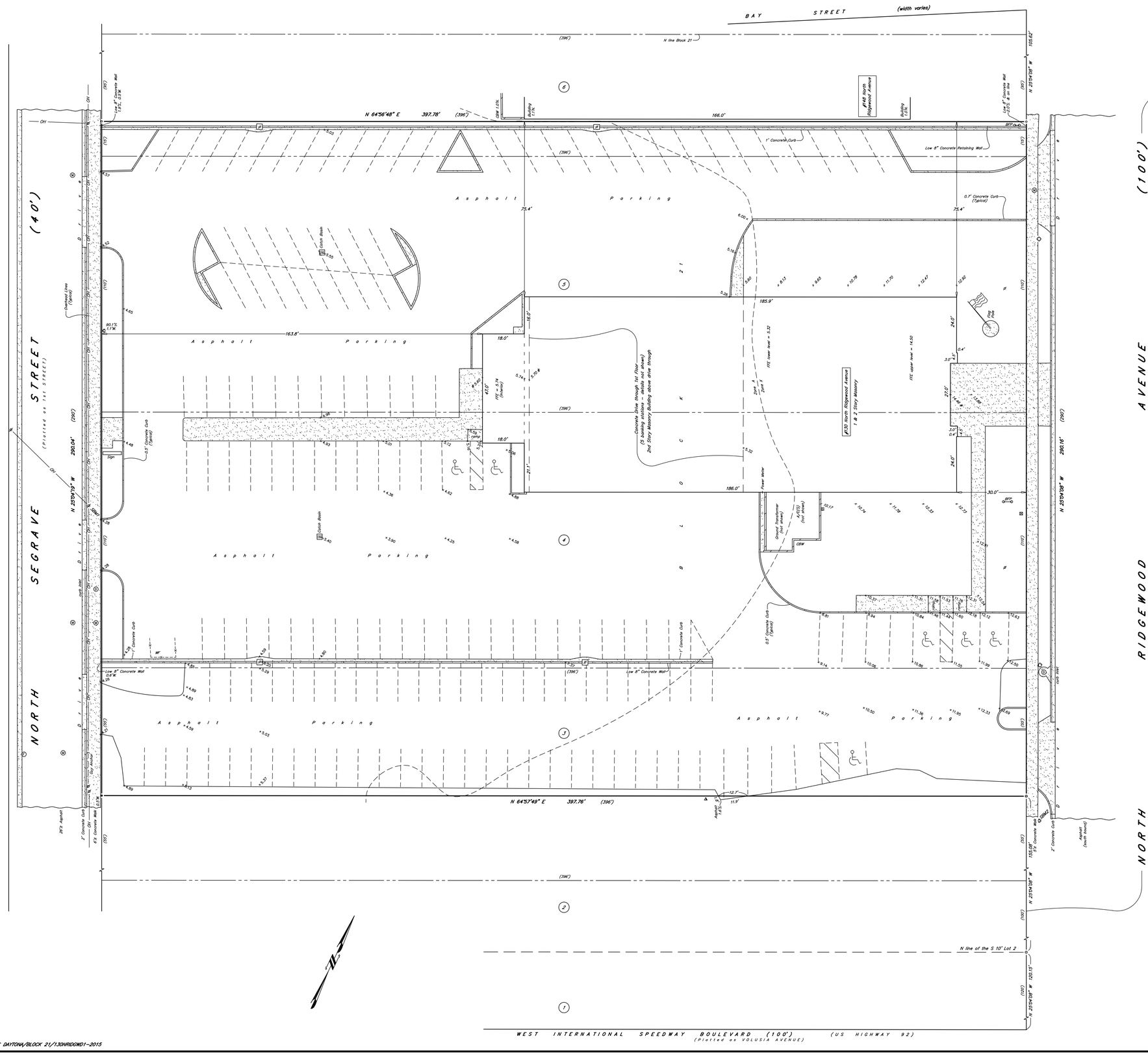
NEWKIRK ENGINEERING
1370 North US1, Suite 204
Ormond Beach, Florida 32174
Phone (386) 290-7599
Harry@Newkirk-Engineering.com
Certificate of Authorization No. 30209

Civil Engineering
Land Development
Construction Engineering & Inspection

HARRY NEWKIRK LICENSE NO. 62971 STATE OF FLORIDA PROFESSIONAL ENGINEER
NOT VALID UNLESS SIGNED AND SEALED

DRAWING NUMBER
1

PROJECT No. 2015-30



NOTES: **SCALE: 1" = 20'**

- ○ – 1/2" Iron Pipe and Cap #2048 found
- ⊙ – 5/8" Iron Rod and Cap #6883 & cut set at back of walk
- ● – 5/8" Iron Rod and Cap #6883 set
- ⊙ – 1/2" Iron Rod and Illegible Cap found
- CBW – Concrete Block Wall
- WF – Wood Fence
- BFP – Back Flow Preventer
- Monitoring wells, all signs and all improvements not located this survey.
- No overhead or underground features shown except as noted.
- Record (Plat) dimensions are shown in parenthesis, field measurements are not.
- Ⓢ – Storm Manhole
- Ⓜ – Manhole
- ⊠ – Gas Meter
- Ⓟ – Florida Power and Light Manhole
- ø – Wood Utility Pole
- ☼ – Concrete Light Pole
- ▲ – Telephone Box
- ⊠ – Water Meter
- ✿ – Fire Hydrant
- ø – Light Pole

Bearings are assumed, based on the westerly line of N. Ridgewood Avenue shown hereon, bearing N 25°04'08" W, and are based on the record plat.

Elevations are on North American Vertical Datum of 1988, based on City of Daytona Beach bench mark RMR–21, having a published elevation of 13.26 feet.

SBM1 – Site Bench Mark 1, nail in wood utility pole, elevation of 4.73 feet.

SBM2 – Site Bench Mark 2, north bolt fire hydrant, elevation of 15.38 feet.

FFE – Finished Floor Elevation

∗ Elevations shot at exterior of doorway

This survey and plat not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

There may be additional restrictions and/or other matters not shown hereon that may be found in the public records of this county, Florida.

PLAT OF BOUNDARY SURVEY OF:

THE NORTHERLY 1/2 OF LOT 3, ALL OF LOTS 4 AND 5 AND THE SOUTHERLY 15 FEET OF LOT 6, BLOCK 21, HODGMAN'S DAYTONA, ACCORDING TO THE MAP THEREOF RECORDED IN MAP BOOK 2, PAGES 82 AND 83, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

Description taken from Official Records Book 6797, page 4436.

The above described property is in zone "X" and zone "A", per the Flood Insurance Rate Map, Community Number 125099, Map and Panel Number 12127C0359H, dated 19 February, 2014. Said zones are approximately delineated hereon.

Regarding those matters outlined within that that "Title Search Report" prepared by Attorney's Title Fund Services, LLC, dated 7–21–15, fund file number 209604, this surveyor finds the following:

A) The legal description matches said Title Search Report.

B) Concerning that section labeled restrictions/easements:

1. Does not pertain to this property.
2. The plat of Hodgemans Daytona, map book 2, page(s) 82, of which this site is a part of, contains no easements affecting this property.
3. Does not pertain to this property.
4. Does not pertain to this property.
5. Does not pertain to this property.
6. Does not pertain to this property.
7. Does not pertain to this property.
8. Does not pertain to this property.

The above numbering taken directly from said Title Search Report.

CERTIFICATE:

This is to certify that the plat delineated hereon is in compliance with the Standards of Practice per Sections 5J–17.050 to 5J–17.052, Florida Administrative Code pursuant to Section 472.027 of the Florida Statues.

10 March, 2015
(field date)

John J. Matejka, III, P.S.M. #4002
Licensed Business #6883

Additional topographic information added.... 7–23–15

HODGEMANS DAYTONA, BLOCK 21, LOTS 3, 4, 5 AND 6

FOR: BRUCE M. SAUER
5070 CAPE COLE BOULEVARD
PUNTA GORDA, FLORIDA

BY: J. J. MATEJKA & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS & MAPPERS
408 HARVEY AVENUE
DAYTONA BEACH, FLORIDA
JOB #15 17826 PLAT #15X3

HODGEMANS DAYTONA/BLOCK 21/130RIDGWD1–2015

GENERAL CONSTRUCTION NOTES

1. GOVERNING SPECIFICATIONS: CITY OF DAYTONA BEACH LAND DEVELOPMENT CODE, CITY OF DAYTONA BEACH STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION, FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AND STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, LATEST EDITION, AND SUPPLEMENTS THERETO IF NOTED IN THE SPECIAL PROVISIONS FOR THIS PROJECT.

2. THE CONTRACTOR SHALL PAY FOR AND OBTAIN A BUILDING PERMIT. THE ENGINEER WILL SCHEDULE THE PRECONSTRUCTION CONFERENCE BEFORE THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL CONTACT THE PERMITS AND LICENSING DEPARTMENT AT (386) 671-8140 FOR INFORMATION ON ISSUANCE OF CITY PERMITS AND / OR OTHER REQUIREMENTS.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.

4. THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS, UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.

5. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.

6. ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA, MAXIMUM HEIGHT OF 8 FEET AND NO CLOSER THAN 10 FT FROM PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR A TEMPORARY SIGN PERMIT AT THE DAYTONA BEACH BUILDING DEPARTMENT. THE SIGN MUST BE REMOVED UPON RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

7. CONSTRUCTION NOISE IS RESTRICTED TO LESS THAN 86 dBA BETWEEN THE HOURS OF 7 AM AND 10 PM AND LESS THAN 55 dBA BETWEEN THE HOURS OF 10 PM AND 7 AM DAILY.

8. NIGHT TIME CONSTRUCTION LIGHTING SHALL BE RESTRICTED TO NO MORE THAN 0.5 FT-CANDLE AT THE PROPERTY BOUNDARY.

9. LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.

10. AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.

11. AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY OR ENGINEER AT THE CONTRACTORS EXPENSE.

12. THERE SHALL BE NO DEVIATIONS FROM THESE PLANS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.

13. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.

14. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.

15. FILL MATERIAL SHALL CONSIST OF "CLEAN", FINE SAND WITH LESS THAN 5 PERCENT SOIL FINES.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER, TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.

17. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.

18. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.

19. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.

20. CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.

21. CORE TESTS SHALL BE TAKEN TO VERIFY THICKNESS AND SUBSURFACE COMPACTION. PROVIDE FOR THREE SAMPLES, RANDOMLY LOCATED. TEST FOR EXTRACTION, GRADATION, LABORATORY DENSITY, AND MARSHALL'S STABILITY. PROVIDE A CERTIFICATE FROM THE TESTING AGENCY THAT MATERIALS AND INSTALLATION COMPLY WITH SPECIFICATIONS, SIGNED BY THE ASPHALTIC CONCRETE PRODUCER AND CONTRACTOR. ALL COSTS OF TESTS SHALL BE PAID BY THE CONTRACTOR. IF TESTS SHOW THE INSTALLATION DOES NOT MEET SPECIFICATIONS, THE PAVING SHALL BE REMOVED, REPLACED, AND RETESTED.

22. IF ANY MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.

23. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).

24. NO BURYING OF ANY ORGANIC MATERIALS ALLOWED.

SITE PREPARATION FOR PAVEMENT

1. PRIOR TO CONSTRUCTION, THE LOCATION OF EXISTING UNDERGROUND UTILITY LINES WITHIN THE CONSTRUCTION AREA SHOULD BE ESTABLISHED. PROVISIONS SHOULD BE MADE TO RELOCATE INTERFERING UTILITIES TO APPROPRIATE LOCATIONS. IT SHOULD BE NOTED THAT IF UNDERGROUND PIPES ARE NOT PROPERLY REMOVED OR PLUGGED, THEY MAY SERVE AS CONDUITS FOR SUBSURFACE EROSION WHICH MAY SUBSEQUENTLY LEAD TO EXCESSIVE SETTLEMENT OF THE OVERLYING STRUCTURES.

2. STRIP THE PROPOSED CONSTRUCTION LIMITS OF ALL GRASS, ROOTS, TOPSOIL AND OTHER DELETERIOUS MATERIALS WITHIN AND 3 FEET BEYOND THE PROPOSED PAVEMENT LIMITS. EXPECT INITIAL CLEARING AND GRUBBING TO DEPTHS OF APPROXIMATELY 6 TO 12-INCHES.

3. PROOF-COMPACT THE EXPOSED SURFACE WITH LIGHT TO MEDIUM ROLLER UNTIL YOU MAINTAIN DENSITY OF AT LEAST 98 PERCENT SHOULD BE OBTAINED IN THE UPPER 12 INCHES BELOW BASE COURSE. THE COMPACTED SOILS SHALL EXHIBIT MOISTURE CONTENT WITHIN 2 PERCENT OF THE SOILS OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). VIBRATORY EQUIPMENT SHOULD BE OPERATED IN STATIC MODE WITHIN 75 FEET OF ADJACENT STRUCTURES.

4. SHOULD THE SOILS EXPERIENCE PUMPING AND SOIL STRENGTH LOSS DURING THE COMPACTION OPERATIONS, COMPACTION WORK SHOULD BE IMMEDIATELY TERMINATED AND (1) THE DISTURBED SOILS REMOVED AND BACKFILLED WITH DRY STRUCTURAL FILL SOILS WHICH ARE THEN COMPACTED, OR (2) THE EXCESS MOISTURE CONTENT WITHIN THE DISTURBED SOILS IS ALLOWED TO DISSIPATE BEFORE RECOMPACTING.

5. TEST THE COMPACTED SURFACE FOR COMPLIANCE AT A MINIMUM OF ONE (1) LOCATION PER 10,000 SQUARE FEET WITHIN THE PAVEMENT AREA (MINIMUM 3 LOCATIONS).

6. PLACE THE COMPACT BACKFILL MATERIAL AS REQUIRED. THE FILL SHALL CONSIST OF "CLEAN" FINE SAND WITH LESS THAN 5 PERCENT SOIL FINES. PLACE FILL IN UNIFORM 10 TO 12-INCH LOOSE LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DENSITY WITH THE EXCEPTION THAT DENSITIES OF AT LEAST 98 PERCENT PERCENT SHALL BE OBTAINED WITHIN THE UPPER ONE FOOT BELOW BASE COURSE. COMPACTED SOILS SHALL EXHIBIT MOISTURE CONTENT WITHIN 2 PERCENT OF THE SOILS OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). IF LIGHT EQUIPMENT IS USED, THEN THE LIFT THICKNESS SHALL BE REDUCED TO 8-INCH THICK LIFTS.

7. PERFORM COMPLIANCE TESTS WITHIN EACH LIFT OR FILL AT A FREQUENCY OF NOT LESS THAN ONE TEST PER 10,000 SQUARE FEET OF PAVEMENT AREA (MINIMUM 3 LOCATIONS).

LEGEND

NOTE: NOT ALL SYMBOLS SHOWN HERE MAY BE APPLICABLE TO THESE DRAWINGS, ALSO THERE MAY BE ADDITIONAL SYMBOLS WITHIN PLANS NOT SHOWN HERE, SEE INDIVIDUAL DRAWING LEGEND WHERE APPLICABLE.

- #3 — BENCHMARK ID
- B24 — BORING ID
- EXISTING CABLE TV PEDESTAL
- EXISTING CAP OR PLUG
- EXISTING CLEAN OUT
- EXISTING CONDUIT RISER/ MARKER
- EXISTING ELECTRIC METER
- +11.7 — EXISTING ELEVATION (SOFT)
- 5.0± — PROPOSED ELEVATION (SOFT)
- +11.75 — EXISTING ELEVATION (HARD)
- 5.00 — PROPOSED ELEVATION (HARD)
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING FLOW DIRECTION
- PROPOSED FLOW DIRECTION
- EXISTING GAS METER
- EXISTING GAS VALVE
- EXISTING GUY WIRE & ANCHOR PIN
- EXISTING MAIL BOX
- EXISTING MANHOLE (UNKNOWN)
- PROPOSED MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING ROAD SIGNS AND POSTS
- PROPOSED SIGN AND POST
- EXISTING TEE
- EXISTING UTILITY POLE
- EXISTING VALVE IRRIGATION
- EXISTING VALVE WATER
- PROPOSED WATER VALVE
- EXISTING WATER METER
- EXISTING STORM SEWER WITH INLET
- PROPOSED STORM SEWER WITH INLET
- FOUND 1/2" CAPPED IRON ROD L.B. #3724
- FOUND 1/2" IRON ROD (NO I.D.)
- FOUND 1/2" CAPPED IRON ROD L.B. #3724 (WITNESS MONUMENT)
- FOUND 4" BY 4" CONCRETE MONUMENT L.B. #3724
- EXISTING EASEMENT
- FOC — EXISTING UNDERGROUND FIBER OPTIC CABLE
- #FM — EXISTING FORCE MAIN (# INDICATES SIZE)
- GAS — EXISTING GAS MAIN
- OHE — EXISTING OVERHEAD ELECTRIC CABLES
- OHT — EXISTING OVERHEAD TRAFFIC SIGNAL CABLE
- #RAW — EXISTING RAW WATER MAIN (# INDICATES SIZE)
- #REC — EXISTING RECLAIM WATER MAIN (# INDICATES SIZE)
- #SAN — PROPOSED SANITARY SEWER (# INDICATES SIZE)
- #WM — PROPOSED WATER MAIN (# INDICATES SIZE)
- 12 — EXISTING CONTOUR
- 10 — PROPOSED CONTOUR (SOFT)
- 10 — PROPOSED CONTOUR (HARD)
- UTEL — EXISTING UNDERGROUND TELEPHONE CABLE
- UTV — EXISTING UNDERGROUND TELEVISION CABLE
- UGE — EXISTING UNDERGROUND ELECTRICAL POWER CABLE
- JURISDICTIONAL WETLAND LINE
- #SAN — EXISTING SANITARY SEWER (# INDICATES SIZE)
- #WM — EXISTING WATER MAIN (# INDICATES SIZE)
- EXISTING PIPE OR CONDUIT (TYPE SPECIFIED)
- EXISTING SWALE OR CENTER OF DITCH
- PROPOSED SWALE OR CENTER OF DITCH
- EXISTING TOP OF DITCH BANK
- EXISTING BOTTOM OF DITCH BANK
- EXISTING WOOD FENCE
- EXISTING WIRE OR CHAIN LINK FENCE
- PROPOSED WIRE OR CHAIN LINK FENCE
- PROPOSED SILT/SEDIMENT FENCE
- PROPOSED COIR ROLL OR WATTLE
- PROPOSED FLOATING TURBIDITY BARRIER
- TP — TP — PROPOSED TREE PROTECTION

SITE DEVELOPMENT USAGE

1. SETBACK:

	BUILDING	LANDSCAPE
FRONT (NORTH RIDGEWOOD AVENUE)	N/A	8 FEET
REAR (NORTH SEGRAVE STREET)	N/A	8 FEET
SIDE (NORTH PROPERTY LINE)	5 FEET	3 FEET
SIDE (SOUTH PROPERTY LINE)	5 FEET	3 FEET

2. EXISTING SITE COVERAGE:

	SQ. FT	ACRE	%
MAIN BUILDING	16,603	0.381	14.4
ASPHALT PAVEMENT	76,380	1.753	66.2
CONCRETE SIDEWALKS, PADS	4,494	0.103	3.9
OPEN SPACE	17,931	0.12	15.5
TOTAL SITE	115,408	2.649	100.0
TOTAL IMPERVIOUS	97,477	2.237	84.5
FLOOR AREA RATIO (FAR)	0.144 (1.0 MAX.)		

3. PROPOSED SITE COVERAGE:

	SQ. FT	ACRE	%
MAIN BUILDING	16,603	0.381	14.4
MAINTENANCE BUILDING	1,440	0.033	1.2
ASPHALT PAVEMENT	72,095	1.655	62.5
CONCRETE SIDEWALKS, PADS	5,114	0.117	4.4
OPEN SPACE	20,156	0.463	17.5
TOTAL SITE	115,408	2.649	100.0
TOTAL IMPERVIOUS	95,252	2.186	82.5
FLOOR AREA RATIO (FAR)	0.156 (1.0 MAX.)		

4. STORMWATER UTILITY FEE AREA TABLE:

	SQ. FT	ACRE
POST DEVELOPMENT IMPERVIOUS SURFACE	95,252	2.186
PRE DEVELOPMENT IMPERVIOUS SURFACE	97,477	2.237
DIFFERENCE	(-) 2,225	(-) 0.051

5. PARKING REQUIRED:

EXISTING BUILDING:
3.5 SPC PER 1,000 SF (OFFICE OR BANK) X 25,368 SF = 89 SPACES

PROPOSED MAINTENANCE BUILDING:
1.5 SPC PER 1,000 SF (WAREHOUSE, STORAGE) X 1,440 SF = 3 SPACES

TOTAL PARKING REQUIRED = 92 SPACES

6. OVERALL PARKING PROVIDED:

HANDICAP	7 SPACES	4.1%
STANDARD	164 SPACES	95.9%
TOTAL	171 SPACES	100.0%

CITY APPROVAL STAMP
DEV 2015-072

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS - 2015 AND QUALIFIED PRODUCTS LIST

INDEX NO.	DESCRIPTION	INDEX NO.	DESCRIPTION
102	TEMPORARY EROSION AND SEDIMENT CONTROL	612	MULTILANE, WORK ON SHOULDER
300	CURB & CURB AND GUTTER	613	MULTILANE, WORK WITHIN THE TRAVEL WAY - MEDIAN OR OUTSIDE LANE
304	PUBLIC SIDEWALK CURB RAMPS		
305	CONCRETE PAVEMENT JOINTS	660	PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS
310	CONCRETE SIDEWALK	860	ALUMINUM PEDESTRIAN / BICYCLE PICKET RAILING
515	TURNOUT	17302	TYPICAL SECTIONS FOR PLACEMENT OF SINGLE & MULTIPLE-COLUMN SIGNS
600	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	17346	SPECIAL MARKING AREAS
601	TWO-LANE, TWO-WAY, WORK OUTSIDE SHOULER		
602	TWO-LANE, TWO-WAY, WORK ON SHOULDER		

ABBREVIATIONS

AWWA	AMERICAN WATER WORKS ASSOCIATION	H/C	HANDICAP	SAN	SANITARY
CMP	CORRUGATED METAL PIPE	HDPE	HIGH DENSITY POLYETHYLENE	SH	SEASONAL HIGH
CPP	CORRUGATED PLASTIC PIPE	INV	INVERT	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
CTV	CABLE TELEVISION	K_H	HORIZONTAL PERMEABILITY	SMH	SANITARY MANHOLE
DIP	DUCTILE IRON PIPE	K_V	VERTICAL PERMEABILITY	SS	SANITARY SEWER
ESMT	EASEMENT	KO	KNOCK OUT	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
EXIST	EXISTING	LF	LINEAL FEET	TSB	TEMPORARY SEDIMENT BASIN
FAC	FLORIDA ADMINISTRATIVE CODE	MB	MAP BOOK	TYP	TYPICAL
FACBC	FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION	MES	MITERED END SECTION	UGE	UNDERGROUND ELECTRIC
		MJ	MECHANICAL JOINT	UGT	UNDERGROUND TELEPHONE
		N/A	NOT APPLICABLE	USACOE	UNITED STATES ARMY CORP OF ENGINEERS
		NIC	NOT IN CONTRACT	W	WATER (POTABLE)
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	NGVD	NATIONAL GEODETIC VERTICAL DATUM		
		OHE	OVERHEAD ELECTRIC		
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	OR	OFFICIAL RECORD		
		PG	PAGE		
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	PSI	POUNDS PER SQUARE INCH		
		PVC	POLYVINYL CHLORIDE		
FH	FIRE HYDRANT	PVMT	PAVEMENT		
FOC	FIBER OPTIC CABLE	R	RADIUS		
FF EL	FINISH FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE		
FM	FORCE MAIN				
FPD	FEET PER DAY	RPM	REFLECTIVE PAVEMENT MARKER		
G	GAS				
GW	GROUND WATER	R/W	RIGHT-OF-WAY		

SITE AND GENERAL INFORMATION

1. THE PROPERTY AREA BOUNDARY CONSISTS OF 115,408 SF OR 2.649 ACRES. FOR BOUNDARY AND TOPOGRAPHIC SURVEY REFER TO THE SURVEY PERFORMED BY J.J. MATEJKA AND ASSOCIATES, INC., JOB No. 15-17826 .
2. THE CURRENT ZONING IS M1 - LOCAL SERVICE INDUSTRY AND RDD3 - REDEVLOPMENT DOWNTOWN, COMMERCIAL..
3. THE TAX PARCEL NUMBER IS 39-15-33-01-21-0030.
4. THE EXISTING SITE CONDITION IS A BANK WITH DRIVE-THRU. THE FLUCFCS LAND USE IS 140 (COMMERCIAL AND SERVICES).
5. PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE FOR VOLUSIA COUNTY, THE SCS SOILS MAP INDICATES THE SITE CONSISTS OF 71 (URBAN LAND).
6. THE SITE IS LOCATED WITHIN ZONES "A" AND "X" PER MAP PANEL No. 12127C0359 H, DATED FEBRUARY 19, 2014. THE ELEVATION OF THE FLOOD ZONE IS ELEVATION 6.0 N.A.V.D. 88 PER CONTOUR INTERPOLATION OF FEMA FIRM AND VOLUSIA COUNTY LIDAR MAPS.
7. ELECTRICAL UTILITY SERVICE WILL BE PROVIDED BY FLORIDA POWER & LIGHT. NATURAL GAS WILL BE PROVIDED BY TECO PEOPLES GAS COMPANY. TELEPHONE, CABLE AND INTERNET SERVICE WILL BE PROVIDED BY AT&T. CABLE TV AND INTERNET CAN ALSO BE PROVIDED BY BRIGHTHOUSE NETWORKS.
8. SOLID WASTE WILL BE COLLECTED AND DISPOSED OF BY WASTE MANAGEMENT, INC.
9. THE SITE IS NOT LOCATED WITHIN THE LIMITS OF A WELLHEAD PROTECTION ZONE AND THERE IS NO ORDINARY HIGH WATER (OHW) LINE WITHIN THE SITE.
10. STORMWATER WILL CONTINUE TO SHEET FLOW TO AN ON-SITE COLLECTION SYSTEM.
11. POTABLE WATER AND WASTEWATER UTILITY SERVICE WILL BE PROVIDED BY THE CITY OF DAYTONA BEACH.
12. IRRIGATION SERVICE WILL BE PROVIDED BY AN EXISTING IRRIGATION WELL.
13. ALL ON-SITE WATER AND SEWER FACILITIES ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
14. THERE WILL BE NO HAZARDOUS MATERIALS STORED ON-SITE.
15. THERE WILL BE NO UNDERGROUND OR ABOVE GROUND FUEL OR CHEMICAL STORAGE TANKS ON-SITE.

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

NEWKIRK ENGINEERING
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Certificate of Authorization No. 30209

Civil Engineering
Land Development
Construction Engineering & Inspection

SAUER

DEVELOPMENT INFORMATION
SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

HARRY NEWKIRK LICENSE NO. 62971 STATE OF FLORIDA PROFESSIONAL ENGINEER
NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-30
DATE:	APRIL 2015
DESIGN BY:	DAB
DRAWN BY:	HHN
CHECKED BY:	HHN
SCALE:	

DRAWING NUMBER
3

BENCHMARK INFORMATION:

#1 NAIL IN WOOD UTILITY POLE
ELEVATION = 4.73 FEET

#2 NORTH BOLT, FIRE HYDRANT
ELEVATION = 15.38 FEET

VERTICAL DATA
ELEVATIONS ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988, BASED ON CITY OF DAYTONA BEACH BENCH MARK RMR-21, HAVING A PUBLISHED ELEVATION OF 13.26 FEET.

THE ELEVATION OF THE FLOOD ZONE IS ELEVATION 6.0 N.A.V.D. 88 PER CONTOUR INTERPOLATION OF FEMA FIRM AND VOLUSIA COUNTY LIDAR MAPS

TREE LEGEND :

		EXISTING	REMOVED
CEDAR TREE	C	1	0
ELM TREE	E	6	2
HACKBERRY TREE	W	2	1
HOLLY TREE	H	5	0
LIGUSTRUM TREE	L	11	0
MAPLE TREE	RM	2	0
OAK TREE	LO	7	0
PALM, EUROPEAN	EP	4	0
PALM, PHOENIX	PP	2	0
PALM, SABAL	SP	53	8
PALM, WHASHINGTONIA	WP	3	0
PODOCARPUS TREE	P	6	2
TOTAL		102	13

LEGEND:

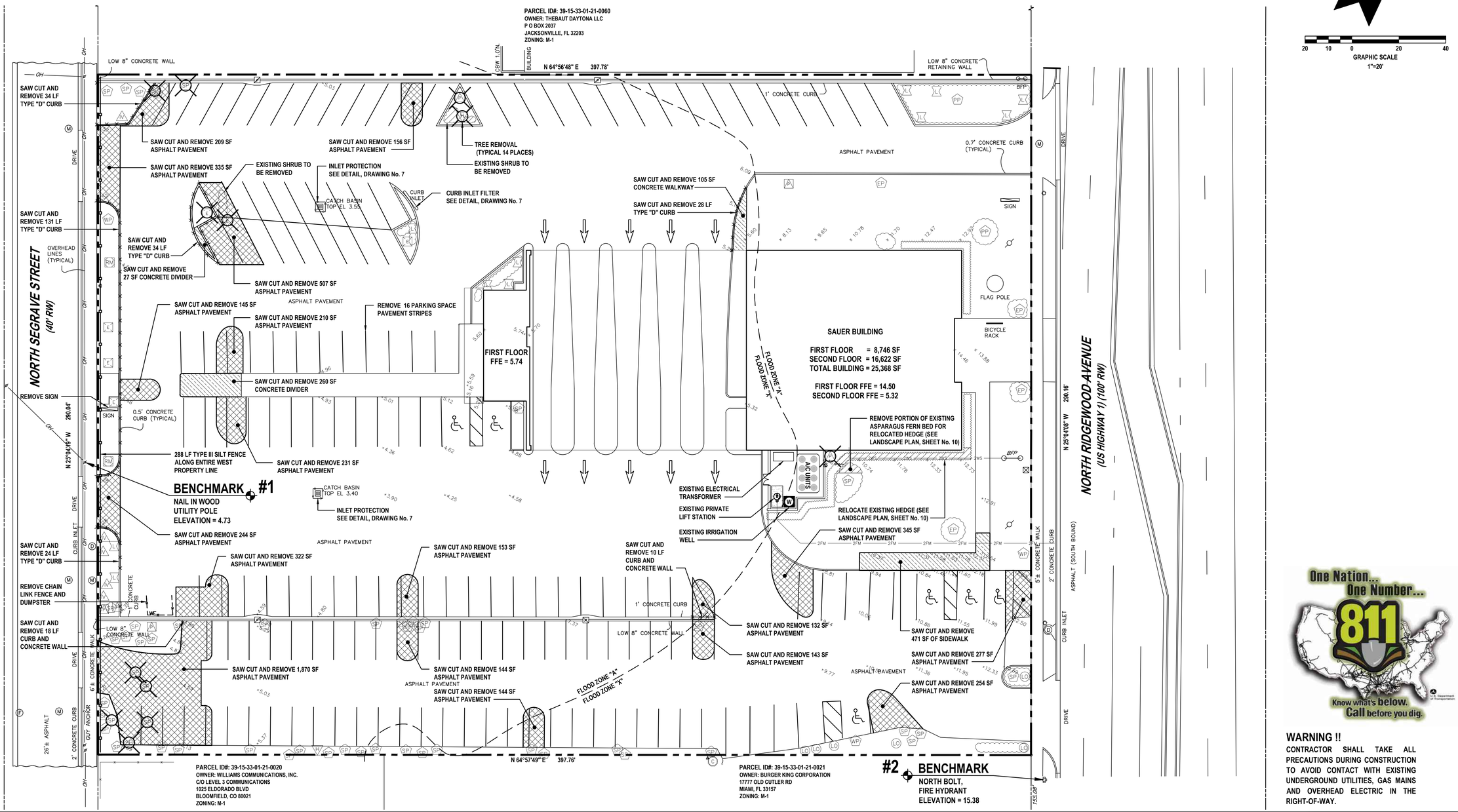
- LIMITS OF DEVELOPMENT (PROPERTY LINE)
- APPROXIMATE LIMITS OF ASPHALT, CONCRETE PAVEMENT(5,771 ± SF)
- APPROXIMATE SIDEWALK REMOVAL (863 SF)
- PROPOSED TYPE III SILT FENCE
- CURB INLET FILTER
- INLET PROTECTION

DEMOLITION AND SWPPP NOTES:

1. ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
2. THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AS SPECIFIED PRIOR TO START OF CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE LIMITS OF CLEARING AS INDICATED ON THE DRAWING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY OF DAYTONA BEACH UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
5. ALL REMOVED MATERIAL SHALL BE HAULED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
6. ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND REMOVAL OF DEBRIS AND SILT BEHIND EROSION CONTROL DEVICES.
8. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY INLET PROTECTION MEASURES TO PREVENT SILTATION IN THE DRAINAGE SYSTEM (SEE DETAILS THIS DRAWING). THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
10. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, BLOWING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
11. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, CITY A MOT PLAN AT PRECONSTRUCTION MEETING. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND OPEN EXCAVATION WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOUR IN ADVANCE.
12. EXISTING DRIVEWAYS SHOWN ADJACENT TO OR OUTSIDE LIMITS OF CONSTRUCTION SHALL REMAIN IN-SERVICE. EXISTING UTILITIES AND DRIVEWAYS SHALL NOT BE REMOVED UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

1. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS.
2. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
3. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
4. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
5. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
7. NO TURBID WATER SHALL BE DISCHARGED OFF-SITE FROM THE DEWATERING OPERATION. CONTRACTOR SHALL TAKE MEASURES TO CONTROL TURBIDITY.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
9. PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.



20 10 0 20 40
GRAPHIC SCALE
1"=20'

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

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Ormond Beach, Florida 32174
Phone (386) 290-7599
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SAUER

DEMOLITION AND SWPPP PLAN
SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

HARRY NEWKIRK
LICENSE
NO. 62971
STATE OF FLORIDA
PROFESSIONAL ENGINEER
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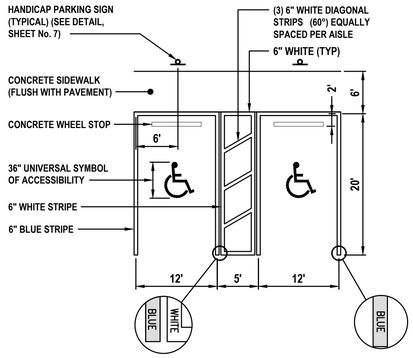
CHECKED BY:	HHN
SCALE:	1" = 20'

DRAWING NUMBER
4

One Nation... One Number... 811
Know what's below. Call before you dig.
U.S. Department of Transportation

WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES, GAS MAINS AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



HANDICAP PARKING STRIPING

(UNIVERSAL SPACES PER FLORIDA ADA)

SCALE: 1" = 10'

PROPOSED GROSS AREA CALCULATIONS	
FIRST FLOOR:	
OFFICE AREA (A/C)	8,746 SF
DRIVE THRU AREA (NON-A/C)	7,857 SF
TOTAL FIRST FLOOR AREA	16,603 SF
SECOND FLOOR:	
OFFICE AREA (A/C)	16,622 SF
TOTAL BUILDING AREA:	
TOTAL BUILDING AREA (A/C)	25,368 SF
TOTAL BUILDING AREA (NON-A/C)	7,857 SF
TOTAL BUILDING AREA (A/C & NON-A/C)	33,225 SF

PAVING LEGEND

- ASPHALT PAVEMENT: 1.5" SP-9.5 WITH TACK COAT PER FDOT SPECIFICATIONS; 6" LIMEROCK BASE (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS); 12" STABILIZED SUBBASE (BR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- CONCRETE SIDEWALK: 4" THICK CONCRETE (3,000 P.S.I. @ 28 DAYS); SEE DETAIL SHEET No. 7
- ASPHALT SEALCOAT: ASPHALT EMULSION SEAL COAT PER MANUFACTURER'S SPECIFICATIONS

SETBACKS

SETBACK	BUILDING	LANDSCAPE
FRONT (NORTH RIDGEWOOD AVENUE)	N/A	8 FEET
REAR (NORTH SEGRAVE STREET)	N/A	8 FEET
SIDE (NORTH PROPERTY LINE)	5 FEET	3 FEET
SIDE (SOUTH PROPERTY LINE)	5 FEET	3 FEET

PAVEMENT MARKING NOTES:

1. PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
2. APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
3. PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
4. ALL STOP BARS SHALL BE THERMOPLASTIC.
5. ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 17352.
6. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH INDEX NO. 17301 AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
7. LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
8. FOR ADDITIONAL DETAILS SEE INDEX NO. 11860, 11863, 17302, 17344 AND 17346.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED USING 3M BRAND "SCOTCHLITE" SHEETING (ENGINEER GRADE) ON MINIMUM .08 GA ALUMINUM BLANKS. ALL 36"x48" SIGNS SHALL BE .100 GA MINIMUM AND SHALL BE INSTALLED USING 3"x12" ROUND ALUMINUM POST. ALL STOP SIGNS SHALL BE 36" OCTAGON INSTALLED ON 12.3 LBS/FT "U" CHANNEL POST RAIL STEEL ONLY OR 3"x12' ROUND ALUMINUM POSTS. "U" CHANNEL POSTS MAY BE USED FOR SIGNS SMALLER THAN 36"x36". ALL SPEED LIMIT SIGNS SHALL BE 24"x30".

GENERAL NOTES:

1. CITY OF DAYTONA BEACH BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) FOR LIGHT POLES AND FIXTURES AT TIME OF PERMIT.
2. ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
3. ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
4. THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
5. THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
6. SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
7. ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
8. ALL PAVEMENT EDGE SHALL HAVE TYPE "D" CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
9. ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
10. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS. NUMBERS SHALL BE IN A COLOR CONTRASTING WITH THE STRUCTURE OR BACKGROUND SURFACE, AND NOT BE LESS THAN SIX (6) INCHES IN HEIGHT. THE ADDRESS NUMBER SHALL BE AFFIXED HORIZONTALLY IN CONSPICUOUS PLACE ON THE BUILDING SO THAT THE NUMBER IS CLEARLY LEGIBLE FROM THE STREET.
11. NO FREE STANDING SIGNS ARE PROPOSED WITH THIS REDEVELOPMENT.
12. NO ADDITIONAL ON STREET PARKING WILL BE PERMITTED.

CITY APPROVAL STAMP
DEV 2015-072

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Construction Engineering & Inspection

SAUER

SITE LAYOUT PLAN
SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

HARRY NEWKIRK LICENSE NO. 62971 STATE OF FLORIDA PROFESSIONAL ENGINEER
NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-30
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DRAWN BY:	HHN
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SCALE:	1" = 20'

DRAWING NUMBER
5

GRAPHIC SCALE
20 10 0 20 40
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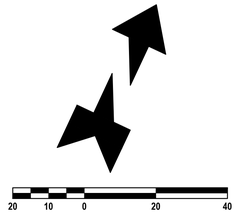

BENCHMARK INFORMATION:

#1 NAIL IN WOOD UTILITY POLE
ELEVATION = 4.73 FEET

#2 NORTH BOLT, FIRE HYDRANT
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VERTICAL DATA
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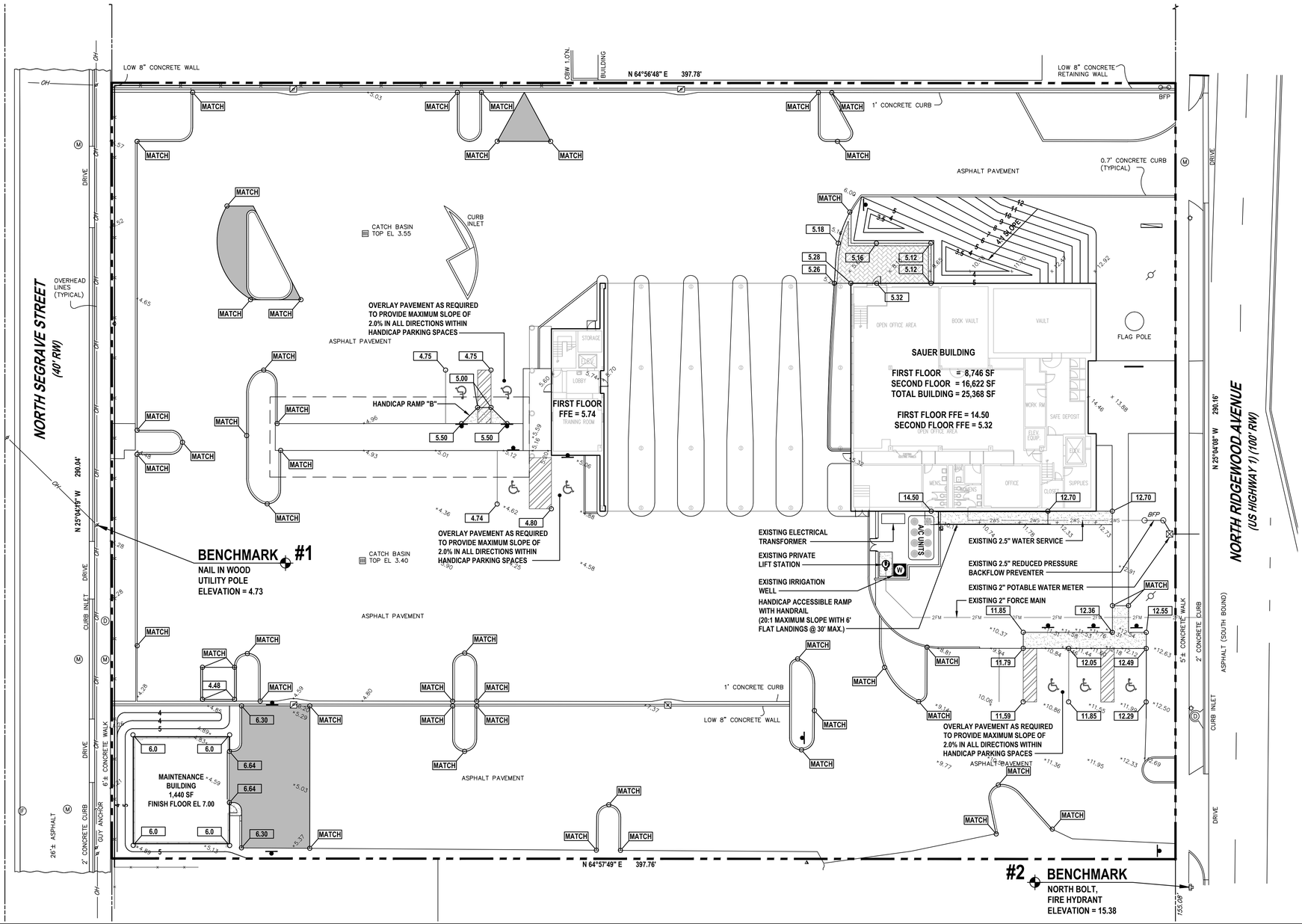
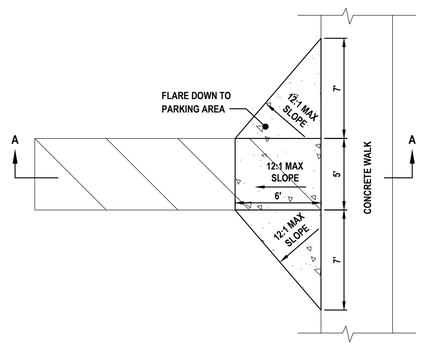
GENERAL EARTHWORK NOTES:

1. IF ANY MUCK OR MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
2. ALL FILLING IS TO BE PERFORMED IN ONE-FOOT LIFTS. THE COMPACTION REQUIREMENT IS 98% FOR PAVED AREAS AND 95% FOR UNPAVED AREAS PER AASHTO T-180 MODIFIED PROCTOR TEST.
3. TEMPORARY FILL STOCKPILING IS NOT PERMITTED IN LIFTS GREATER THAN SIX FEET.
4. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES.
5. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED TO ALLOW THE GRASS TO GROW.
6. ALL NON-PAVED AREAS MUST BE PLANTED, GRASSED, OR MULCHED.

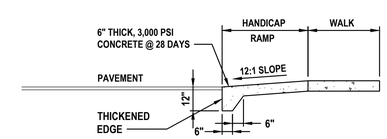
GENERAL GRADING NOTES:

1. CROSS SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL NOT EXCEED 1:48 IN ACCORDANCE WITH SECTION 502.4 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
2. THE MAXIMUM ELEVATION CHANGE AT THE ENTRANCE DOOR MAY NOT EXCEED 1/2 INCH.
3. ALL SIDEWALK LANDINGS SHALL HAVE SLOPES NO GREATER THAN 1/4 INCH / 1 FOOT IN MANEUVERING SPACES AT ALL DOORWAYS.
4. ALL SIDEWALKS SHALL HAVE A 1.0% CROSS SLOPE (2.0% MAXIMUM).
5. ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FACBC.
6. ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEY OR UTILIZING GEODETIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR.





PLAN



SECTION A-A

PAVEMENT HANDICAP RAMP DETAIL (RAMP "B")
NOT TO SCALE

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

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SAUER

GRADING, DRAINAGE AND UTILITY PLAN

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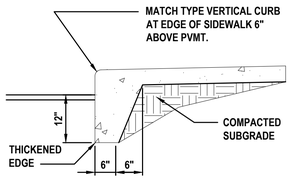
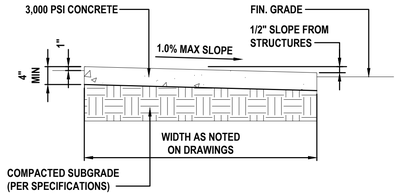
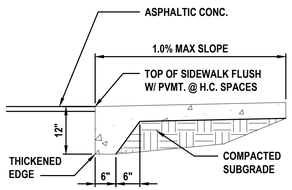
CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.



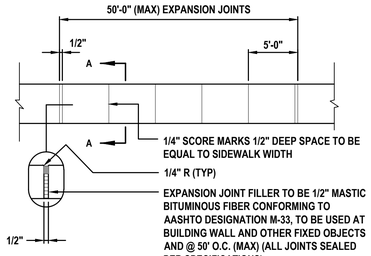
THICKENED EDGE ADJACENT TO PAVEMENT



SECTION A-A



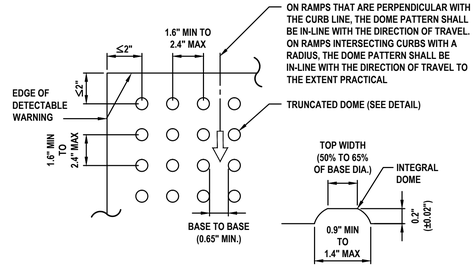
THICKENED EDGE ADJACENT TO ADA WALKWAY



PLAN

SIDEWALK DETAILS

NOT TO SCALE



PLAN VIEW TRUNCATED DOME

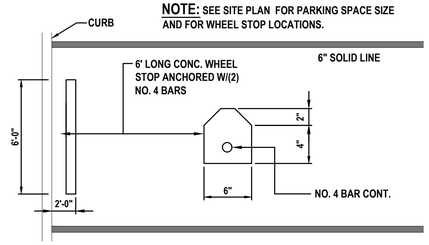
NOTES:

1. CURB RAMP DETECTABLE WARNING SURFACES SHALL EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" FROM THE BACK OF CURB. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATION 527 (SEE DETAIL ABOVE). TRANSITION SLOPES SHALL NOT HAVE DETECTABLE WARNINGS.
2. DETECTABLE WARNING SURFACES SHALL BE SURFACE APPLIED PRODUCTS SUCH AS THOSE MANUFACTURED BY ARMOR TILE OR THEIR EQUAL. SURFACE COLOR SHALL BE BLACK.
3. THE ACCEPTANCE CRITERIA FOR DETECTABLE WARNING ARE AS FOLLOWS:
   a. THE RAMP DETECTABLE WARNING SURFACE SHALL BE COMPLETE AND UNIFORM IN COLOR AND TEXTURE.
   b. 90% OF THE INDIVIDUAL DOMES MUST COMPLY WITH THE DESIGN CRITERIA.
   c. THERE MAY BE NO MORE THAN 4 NON-COMPLYING DOMES IN ANY ONE SQUARE FOOT OF SURFACE.
   d. NO TWO ADJACENT DOMES MAY BE NON-COMPLIANT.
   e. SURFACE MAY NOT DEVIATE MORE THAN 0.1" FROM A TRUE PLANE.
4. SEE FDOT STANDARD INDEX 304, LATEST EDITION, FOR MORE DETAILS.

CURB RAMP DETECTABLE WARNING DETAIL

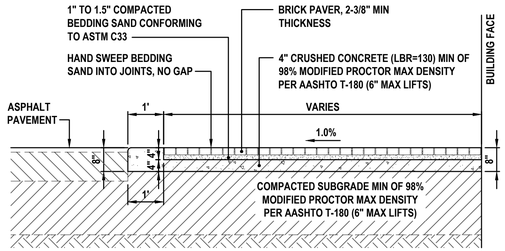
NOT TO SCALE

NOTE: SEE SITE PLAN FOR PARKING SPACE SIZE AND FOR WHEEL STOP LOCATIONS.



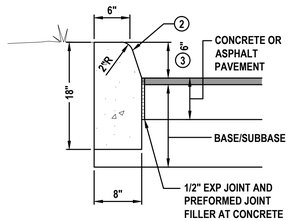
CONCRETE WHEEL STOP DETAIL

NOT TO SCALE



PAVER SIDEWALK DETAIL

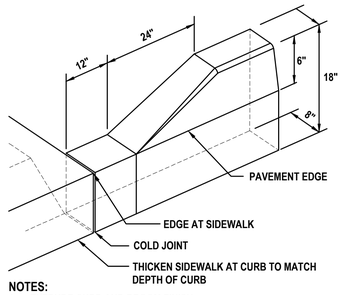
NOT TO SCALE



TYPE "D" CURB DETAIL

NOT TO SCALE

1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
2. PROVIDE CONTRACTION JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 50' O.C. ALL JOINTS SEALED PER SPECIFICATIONS
3. 6" HEIGHT SHALL BE UNIFORM, IF HEIGHT VARIES ± 1/2" THEN CURB WILL BE REPLACED AT THE DISCRETION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

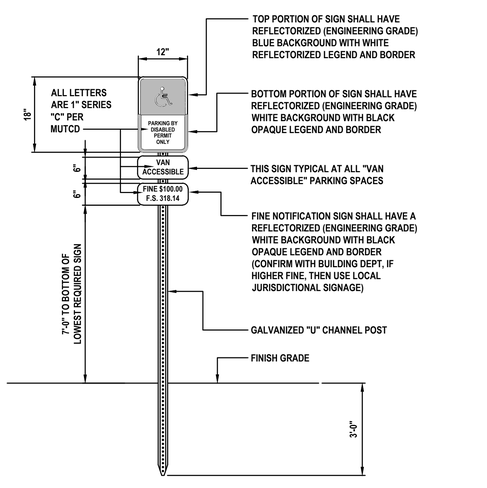


NOTES:

1. EXTRUDE CURB AND BROOM FINISH
2. PROVIDE 1/2" EXPANSION JOINTS AT ALL COLD JOINTS.
3. SAW CUT CONSTRUCTION JOINTS AT 10'-0" O.C.
4. ALL EXPOSED SURFACES SHALL BE STRIPED GREEN, TROWLED AND CURB EDGING RUBBED SMOOTH.
5. "GLUED-ON" EXTRUDED CURB NOT PERMITTED.

TYPE "D" CURB TERMINATION DETAIL

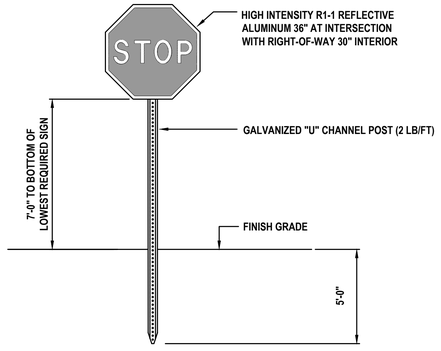
NOT TO SCALE



HANDICAP PARKING SIGN

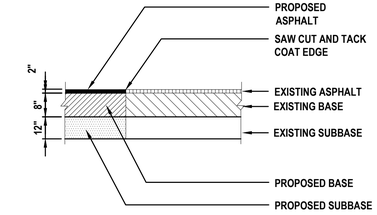
ONE AT EACH HANDICAP SPACE.

NOT TO SCALE



STOP SIGN DETAIL

NOT TO SCALE

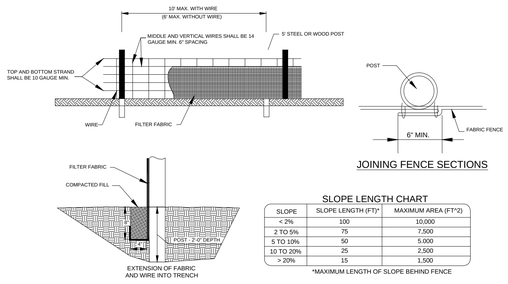


PAVEMENT BUTT JOINT DETAIL

NOT TO SCALE

CURB CONSTRUCTION NOTES

1. ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3000 P.S.I. CONCRETE.
2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 50', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM).
3. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
4. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40.
5. EXPANSION JOINT MATERIAL MUST COVER ENTIRE CROSS SECTION OF CURB.
6. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.



NOTES:

1. WWM MINIMUM 32" WIDTH WITH A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. FILTER FABRIC SHALL BE 36" WIDE AND SHALL BE FASTENED ADEQUATELY TO THE WIRE.
3. STEEL POST SHALL BE 5'-0" IN LENGTH AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. WOOD POST SHALL BE 5'-0" IN LENGTH AND 2" IN DIAMETER.
5. SUPPORT POSTS SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE SEDIMENT FENCE (DOWNSTREAM FROM EXPECTED FLOWS)
6. ACCUMULATED SEDIMENT SHALL REMOVED WHEN 25% THE HEIGHT OF FENCE.
7. MAXIMUM DRAINAGE AREA 10,000 SF PER 100' OF FENCE.
8. MAXIMUM LENGTH UPSLOPE FROM FENCE PER CHART

JOINING FENCE SECTIONS

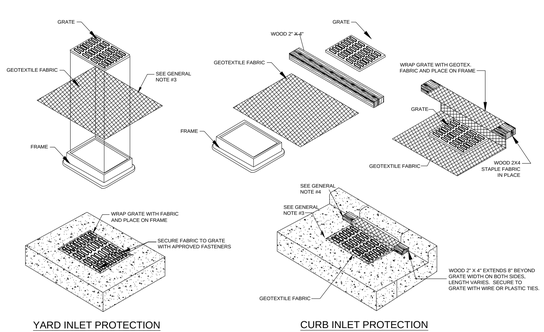
SLOPE LENGTH CHART

SLOPE	SLOPE LENGTH (FT)*	MAXIMUM AREA (FT^2)
< 2%	100	10,000
2 TO 5%	75	7,500
5 TO 10%	50	5,000
10 TO 20%	25	2,500
> 20%	15	1,500

*MAXIMUM LENGTH OF SLOPE BEHIND FENCE

SILT FENCE DETAIL

(NOT TO SCALE)



YARD INLET PROTECTION

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

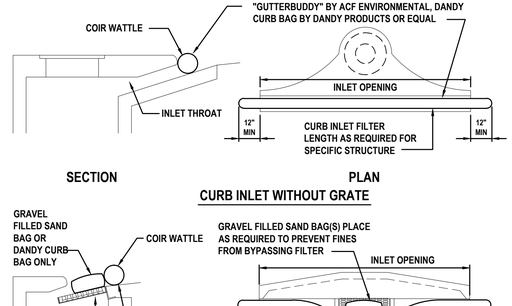
CURB INLET PROTECTION

GENERAL NOTES:

1. GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
6. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

GEOTEXTILE FABRIC INLET PROTECTION

(NOT TO SCALE)



NOTES:

1. INSTALL FILTER PRIOR TO BEGINNING CONSTRUCTION.
2. INSPECT ONCE EACH WEEK AND AFTER ANY RAIN EVENT. REMOVE ANY FINES AND DEBRIS THAT MAY HAVE ACCUMULATED AND DISPOSE OF PROPERLY.

CURB INLET SEDIMENT PREVENTION DETAIL

NOT TO SCALE

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

NEWKIRK ENGINEERING
1370 North US1, Suite 204
Ormond Beach, Florida 32174
Phone (386) 290-7599
Harry@Newkirk-Engineering.com
Certificate of Authorization No. 30209

Civil Engineering
Land Development
Construction Engineering & Inspection

SAUER

MISCELLANEOUS DETAILS AND NOTES

SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

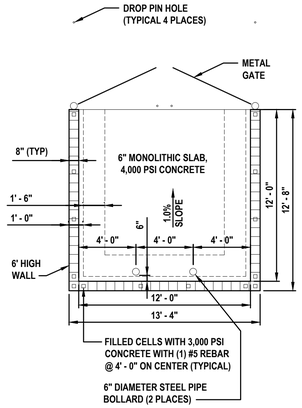
HARRY NEWKIRK LICENSE NO. 62971 STATE OF FLORIDA PROFESSIONAL ENGINEER

NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-30
DATE:	APRIL 2015
DESIGN BY:	DAB
DRAWN BY:	HHN
CHECKED BY:	HHN
SCALE:	AS SHOWN

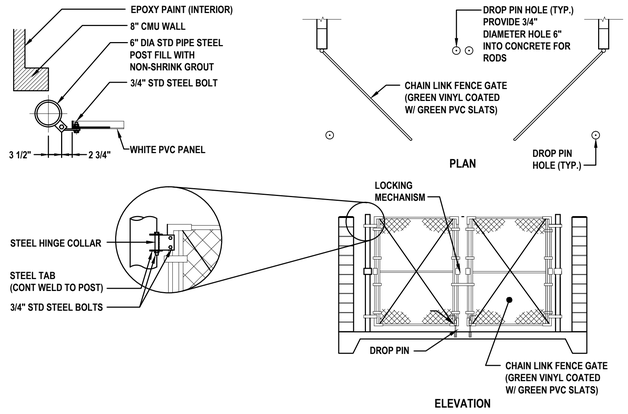
DRAWING NUMBER

7



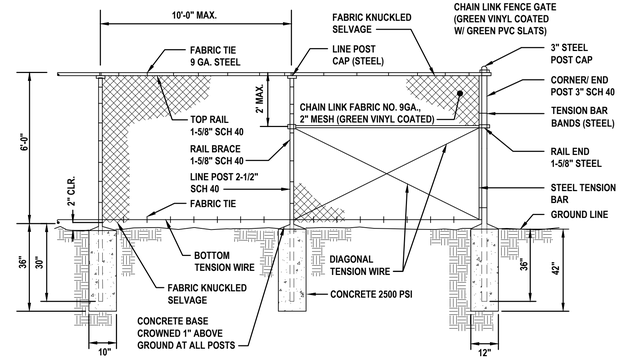
DUMPSTER ENCLOSURE PLAN

SCALE: 1"=5'



DUMPSTER GATE DETAIL

NOT TO SCALE



CHAIN LINK FENCE DETAIL

NOT TO SCALE

MASONRY CONSTRUCTION NOTES:

1. THE WALL IS DESIGNED TO CONFORM TO THE STRUCTURAL REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE FOR EXPOSURE B, A ULTIMATE DESIGN WIND LOAD OF 140 MPH AND A NOMINAL DESIGN WIND SPEED OF 108 MPH. THE WALL DESIGN PRESSURE IS +/- 19.7 PSF.
2. DESIGN BASED ON A MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 1,500 PSF AT (-) 1.5 FEET BELOW GRADE.

MASONRY BLOCK

1. CONCRETE MASONRY UNITS SHALL BE OF SIZES ON DRAWINGS AND CONFORM TO ASTM C90 MEDIUM WEIGHT UNITS WITH MAXIMUM LINEAR SHRINKAGE OF 0.06%, f'm = 1,500 PSI GROUTED SOLID REINFORCED CELLS.
2. ALL HEAD AND BED JOINTS SHALL BE 3/8"THICK. BED JOINTS OF THE STARTING COURSE OVER THE CONCRETE FOUNDATION MAY BE BETWEEN 1/4" AND 3/4".

CONCRETE MIX REQUIREMENTS

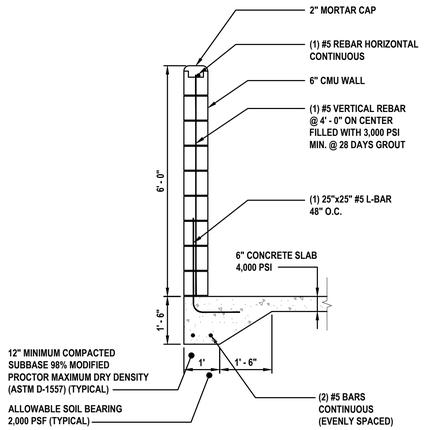
1. THE CONCRETE MIX FOR FOOTINGS MUSH HAVE A COMPRESSIVE STRENGTH OF AT LEAST f'c = 3,000 PSI IN 28 DAYS.
2. THE MORTAR MIX MUSH HAVE A COMPRESSIVE STRENGTH OF AT LEAST 1,800 PSI. MORTAR SHALL CONFORM TO ASTM C270.
3. GROUT MUST HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 PSI IN 28 DAYS. GROUT SHALL CONFORM TO ASTM C476. UNITS SHALL BE LAID A MAXIMUM OF 4 FEET BEFORE GROUTING. ADD WATER UNTIL YOU ACHIEVE POURING CONSISTENCY WITHOUT SEGREGATING THE GROUT COMPONENTS. ROD OR VIBRATE IMMEDIATELY. RE-ROD OR RE-VIBRATE THE GROUT ABOUT 10 MINUTES AFTER POURING TO ENSURE PROPER CONSOLIDATION. WHEN THE GROUTING OF A SECOND LIFT IS TO BE CONTINUED AT LATER TIME, STOP THE GROUT PLACEMENT 2 INCHES FROM THE TOP OF THE MASONRY UNITS. ALL CELLS MUST BE FILLED SOLID WITH GROUT.

REINFORCING STEEL

1. USE REINFORCING STEEL BARS WHICH CONFORM TO ASTM SPECIFICATIONS A615-85, GRADE 60. WHEN YOU CAN'T USE ON CONTINUOUS BAR, YOU MUST LAP OR SPLICE BARS A DISTANCE OF AT LEAST 40-BAR DIAMETERS (i.e. 15" FOR #3BARS, 20" FOR #4 BARS, 25" FOR #5 BARS, 30" FOR # 6 BARS, 35" FOR #7 BARS). THE REQUIRED MINIMUM LAP SPLICE FOR BARS OF DIFFERENT SIZE MUST BE BASED ON THE DIAMETER OF THE LARGER SIZE BAR. BENDS IN THE REINFORCING STEEL MUST CONFORM TO THE MANUAL OF STANDARD PRACTICE OF THE AMERICAN CONCRETE INSTITUTE. BACKING FOR HOOKS MUST BE AT LEAST A DISTANCE EQUAL TO FOUR BAR DIAMETERS. ALL REQUIRED BAR EMBEDMENT DIMENSIONS ARE CLEAR DISTANCES TO OUTSIDE OF BAR. SPACING FOR PARALLEL BARS IS CENTER TO CENTER OF BARS.

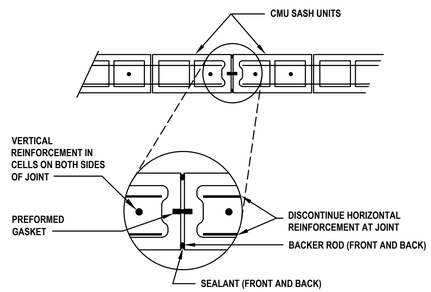
JOINTS

1. VERTICAL CONTROL JOINTS ARE NEEDED AT INTERVALS OF NOT MORE THAN 20 FEET.
2. VERTICAL EXPANSION JOINTS ARE NEEDED AT INTERVALS OF NOT MORE THAN 80 FEET.



TYPICAL DUMPSTER ENCLOSURE WALL SECTION

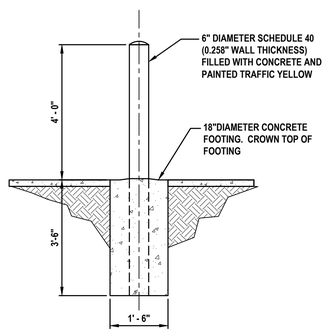
NOT TO SCALE



NOTE: VERTICAL EXPANSION JOINTS ARE NEEDED AT INTERVALS OF NO MORE THAN 80 FEET.

TYPICAL WALL SECTION - EXPANSION JOINT

NOT TO SCALE



BOLLARD DETAIL

NOT TO SCALE

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

NEWKIRK ENGINEERING
1370 North US1, Suite 204
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Harry@Newkirk-Engineering.com
Certificate of Authorization
No. 30209

Civil Engineering
Land Development
Construction Engineering &
Inspection

SAUER

MISCELLANEOUS DETAILS AND NOTES

SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

HARRY NEWKIRK
LICENSE
NO. 62971
STATE OF FLORIDA
PROFESSIONAL ENGINEER

NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-30
DATE:	APRIL 2015
DESIGN BY:	DAB
DRAWN BY:	HHN
CHECKED BY:	HHN
SCALE:	AS SHOWN

DRAWING NUMBER

8

Section 01720
AS-BUILTS/RECORD DOCUMENTS

PART 1 - GENERAL

1.1 SCOPE OF WORK

A. This Section sets forth the requirements for preparing as-built/record drawings and documents for verification of construction and archiving.

CONTRACTOR shall secure the services of a Florida licensed surveyor to collect data and prepare as-built/record drawings in accordance with City of Daytona Beach Utilities standards as follows:

1.2 REFERENCE:

A. The preparation work shall be in accordance with this section and supplementary details in the City of Daytona Beach Utilities Department Standard Details, latest edition.

1.3 AS-BUILTS/RECORD DRAWINGS AND DOCUMENTS:

In order to ensure that the project records are maintained to the highest standards and the information can easily be added to the City's electronic records the following information is required on all As-built/Record Drawings.

A. The intent of these details for As-built/Record Drawings are required for all public facilities constructed. Prior to construction completion these as-built/record requirements will be reviewed to be certain the Contractor's surveyor has a clear understanding of what is required for completion of this work.

1. Pavement and curb widths shall be verified and dimensioned for each street at each block (for subdivisions) and as appropriate to confirm paving limits (on site plans).
2. All radii at intersections shall be verified and dimensioned. This information is to be clearly indicated on the as-built/record drawings.

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

3. Roadway elevation shall be recorded at all grade changes, 100' intervals along roadway, and other intervals as needed along all streets. Street centerline and curb invert elevations shall be recorded as noted. The as-built centerline profile of all streets shall also be shown on the plan and profile so it may be compared to the design profile grade lines. In the event that the as-built centerline longitudinal grade does not meet the City minimum standards, additional longitudinal grades of the adjacent curbing and similar roadway cross-section surveys to verify the correct cross slope, shall be required to verify that the system will function as originally designed.
4. Storm drainage structures shall be located and/or dimensioned from centerlines or lot lines as appropriate. Each structure shall be located by sub-meter GPS with Station & Offset, northerly & easterly, latitude, longitude, and elevation data.
5. Storm drainage pipe invert and inlet elevation shall be recorded and clearly denoted as As-built information. Design elevation shall be crossed out and as-built information written next to it.
6. Storm drainage pipe material, length, size shall be measured and/or verified. This information is to be clearly indicated as being as-built information.
7. All applicable topographic information pertinent to the on-site drainage system, such as ditches, swales, lakes, canals, etc. that are deemed necessary by the City to verify the functional performance of the storm system, shall be noted. Normally, recording elevation every 100 feet at the top of bank to toe of sloe will be required. Measurements shall be taken and recorded in order to accurately tie down these features to the roadway centerlines and to plat lines. Whenever possible, contour lines shall be utilized to graphically describe these topographic features.
8. Retention areas shall have their top of bank and bottom elevations recorded. Actual measurements shall be taken and dimensions recorded of the size of all retention areas. Measurements shall be done from top of bank with side slopes indicated. Separate calculations shall be submitted to indicate required and provided retention volumes.
9. Actual materials used and elevations and dimensions of overflow weir structures and skimmers shall be noted on the as-built.
10. Storm drainage swale centerlines shall be located and elevations of flow line and top of bank shall be recorded every 100 feet. side slopes shall also be indicated.

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

11. Sanitary sewer manholes shall be verified and dimensioned from street centerlines or lot lines as appropriate. Each structure shall be located by sub-meter GPS with station & offset, northerly & easterly, latitude, longitude, and elevation data. All rim and invert elevation shall be verified and recorded. This information shall be clearly indicated as being as-built information. Design elevations shall be crossed out and as-built information written next to it.
12. For subdivisions, proposed design finish floor elevations shall appear on all subdivision lots on the appropriate plan and profile sheet as well as on the master drainage plan.
13. Sanitary sewer line lengths, sizes, material, slope, etc., shall be verified and recorded, this information is to be clearly indicated as being as-built information.
14. Sewer Laterals shall be verified and recorded at the clean out locations, stationing and offset distances shall be measured from upstream manholes towards downstream manholes. Invert information at clean out shall be provided and be located by sub-meter GPS with station & offset, northerly & easterly, latitude, longitude, and elevation data.
15. Lift station and forcemain shall be verified and dimensioned from street centerlines or lot lines as appropriate. Forcemain depth and location including valves will be provided and tied to permanent above grade features. dimensional and elevation information indicated on the approved plan shall be verified and recorded. This information shall be clearly indicated as being as-built information. Buried potable water lines and electrical service lines shall be clearly dimensioned, located and labeled. Each lift station shall be located by sub-meter GPS with station & offset, northerly & easterly, latitude, longitude and elevation data.
16. Curb cuts or metal tabs, used to mark sewer laterals, water services and water valves, shall bee verified for presence and accuracy of location.
17. Potable and reclaimed water main lines shall be dimensioned off the baseline construction. Water main line material size, length and depth, placed shall be noted. Locations of valves shall also be tied to baseline construction. This information shall be clearly indicated as being as-built information.

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

18. Potable and reclaimed water valves, tees, bends, all services, and fire hydrants shall be located by tying them to baseline construction (Sta. & Offset). Similarly, force main valves, tees, and bends shall be located in the same manner. Stationing and offset distances shall be measured from upstream manholes to downstream manholes. All services, valves, tees, bends, and hydrants shall be located by sub-meter GPS with station & offset, northerly & easterly, latitude, longitude and elevation data.
19. For perpendicular crossings of storm water, sanitary sewer, potable water, or reclaimed water, the as-built plans shall clearly indicate which utilities are located over or under other utilities, as necessary.
20. Any special features such as, concrete flumes, lake banks, walls, fencing, etc. which are a part of the approved construction drawings should also be located and dimensioned.
21. If an approved subdivision plat or site plan shows a conservation easement, the project surveyor should provide the exact location of the specimen tree(s) from the right-of-way or property lines and proposed easement boundaries on the as-built drawing. The as-built location of these trees will help verify the sufficiency of the conservation easement prior to plat recording or certificate of occupancy.
22. When storm water, potable water, reclaimed water, or sanitary sewer improvements are located within an easement, the as-built drawing will accurately depict the location of the easement itself as well as the exact location of the improvements within the easement. This is required in order to verify that the improvements have been properly located and to ensure that future subsurface excavation to perform remedial repair can be accomplished without disturbance beyond the easement.
23. As-built drawings are to be prepared, signed and sealed by a Florida licensed surveyor. These as-built drawings shall also be signed and sealed by a Florida licensed engineer of record. Two (2) paper copy sets of as-built record drawings shall be provided (do not fold, may be rolled), a CD with a digital copy in a compatible AutoCAD format, and PDF format.
24. Elevations shall be referenced to NGVD 1988 Data. As-built survey information shall be referenced to at least two Florida State Plane east coordinates NAD 83.

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

25. Benchmark Datum utilizes monumentation from the North American Vertical Datum of 1929 with elevations adjusted to NGVD 1988 data. Any NAVD 1929 monument with the limits of construction is to be protected.

1.4 SUBMITTALS

A. CONTRACTOR shall submit each month to CITY the Project Activity Summary that shows current construction activities and a copy of notices to agencies including the City regarding road closures; plus a record of events that will be needed in the future.

B. CONTRACTOR shall submit to CITY as required the proposed shut-off schedule, capping, temporary service scheduling, record of notices to customers and proposed roadway closings.

C. CONTRACTOR shall submit copies of published notices.

D. CONTRACTOR shall submit Final as-builts for each utility included in the plans. Send the two paper copies and the AutoCAD files for pre-approval. The final submittal shall include two (2) Paper Copies of Record, a CD with the AutoCAD files, and a set of PDF files (Mylars are no longer required). When the As-Builts are delivered for clearance of water lines (two paper signed and sealed copies), they will be scheduled for chlorination. CITY will not release the drinking water bacteriological laboratory report to Volusia County Health Department until the As-built information meets CITY requirements. CONTRACTOR will have 60 days from the time that the bacteriological samples are collected to submit any correction that needed to be done to the as-built and CD to CITY. If CONTRACTOR goes past the 60 days re-chlorination will be required and pay for the bacteriological laboratory report will be required. The following are minimum detail samples of how the As-built drawing information will need to be presented.

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

E. There are examples of how to display and label valves, fittings, and pipes on the plans. Include a location arrow going to the identified object:

Valve Example:
20" GATE VALVE
STA. 22+23 (LT.55.0')
LAT. = 29°12'53.009
LONG. = 81°04'03.355"W
N = 1,774,373.4058
E= 634,602.7566
TOP ELEV. = 27.50
FINISH GROUND ELEV. = 30.50

20" DIP WATER MAIN
STA. 22+00 (RT.55.0')
LAT.= 29°12'50.009"N
LONG.= 81°04'26.355"W
N = 1,774,373.4058
E= 634,602.7566
TOP OF PIPE ELEV. = 27.50
FINISH GROUND ELEV. = 30.50

Manhole Example:
Manhole No.25
STA. 22+23 (LT.55.0')
LAT. = 29°12'53.009
LONG. = 81°04'03.355"W
N = 1,774,373.4058
E= 634,602.7566
RIM ELEV. = 27.50
NORTH 15" RCP ELEV. = 8.50
WEST 24" CMP ELEV. =7.50
BOTTOM ELEV. = 9.30

(All Bench Marks used must be shown on the plans) Bench Mark Example:

BM#13
STA. 20+33 (LT. 85.5')
3/4" Iron Rod with Plastic Cap...
N= 1,774,373.4058
E = 634,602.7566
LAT.= 29°04'53.355"W
LONG. = 81°04'53.355"W
ELEV.= 32.55

Section 01720
AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

PART 2- EXECUTION

2.1 General

All drawings shall be prepared to True State Plane Coordinates. CONTRACTOR shall provide all materials, equipment, labor needed to prepare and submit accurate As-Built/Record Drawings.

A. It is acceptable to CITY if the surveyor utilizes an after the fact approach to collecting and verifying the location and depth by vertical PVC pipes placed by the CONTRACTOR as markers for this purpose. The surveyor shall verify to the accuracy defined in Florida Statues the As-built conditions and certify the Record Drawings.

B. CITY shall not be considered the best source of information for valve locations that may have been lost during final grading, the surveyor or CONTRACTOR shall excavate and properly mark all valve boxes and each valve shall have a tag or color coded to define water, sewer, or reuse water valves. The use of temporary PVC pipe markers color coded is acceptable so long as cross references are provided on the Record Drawings to prevent the tops from a water valve being placed on a sewer valve.

C. THE CONTRACTOR SHALL PROVIDE THE UTILITIES DEPARTMENT ENGINEERING DIVISION THE FINAL AS BUILT/RECORD DRAWINGS ON CD (AUTOCAD FILES AND A SET OF PDF'S). MYLARS ARE NO LONGER REQUIRED. THE AS BUILT RECORD DRAWINGS SHALL BE PREPARED USING AUTOCAD FORMAT 2010 OR LATER. IN MODEL SPACE THE DRAWING SHALL BE IN FL83-EF (NAD83 FLORIDA STATE PLANES, EAST ZONE, US FOOT) STATE PLANE COORDINATES AND SHALL BE ABLE TO BE INSERTED INTO THE CITY'S OVERALL GIS SYSTEM. THE RECORD DRAWINGS SHALL ALSO BE PRINTED, SIGNED AND SEALED AS ALLOWED BY STATE OF FLORIDA REGULATIONS. A DISCLAIMER MAY BE NOTED IN A TRANSMITTAL LETTER PLUS THE SURVEYOR MAY ADD A SPECIAL NOTICE ON EACH SHEET REGARDING THE LOCATION OF THE TRUE ORIGINAL RECORD DRAWINGS OR PLACE LIMITS ON RESPONSIBILITY SHOULD SOME-ONE IN THE FUTURE NEED TO MODIFY THE DRAWINGS.

D. Identify the source markers for the survey used for Record Drawings.

END OF SECTION

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

NEWKIRK ENGINEERING
1370 North US1, Suite 204
Ormond Beach, Florida 32174
Phone (386) 290-7599
Harry@Newkirk-Engineering.com
Certificate of Authorization No. 30209

Civil Engineering
Land Development
Construction Engineering & Inspection

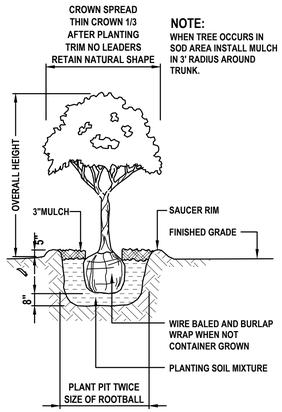
SAUER

CITY OF DAYTONA BEACH
AS-BUILT REQUIREMENTS
SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

HARRY NEWKIRK LICENSE NO. 62971 STATE OF FLORIDA PROFESSIONAL ENGINEER
NOT VALID UNLESS SIGNED AND SEALED

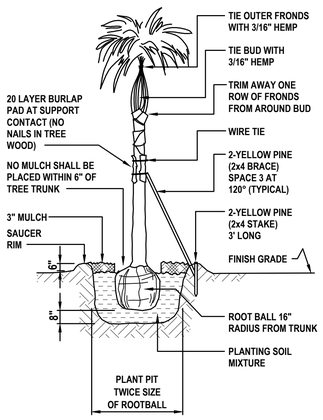
PROJECT No:	2015-30
DATE:	APRIL 2015
DESIGN BY:	DAB
DRAWN BY:	HHN
CHECKED BY:	HHN
SCALE:	AS SHOWN

DRAWING NUMBER
9



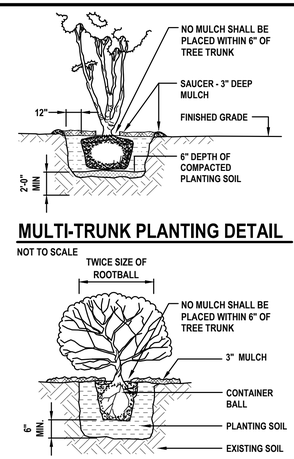
TREE PLANTING DETAIL

NOT TO SCALE



PALM TREE PLANTING DETAIL

NOT TO SCALE



MULTI-TRUNK PLANTING DETAIL

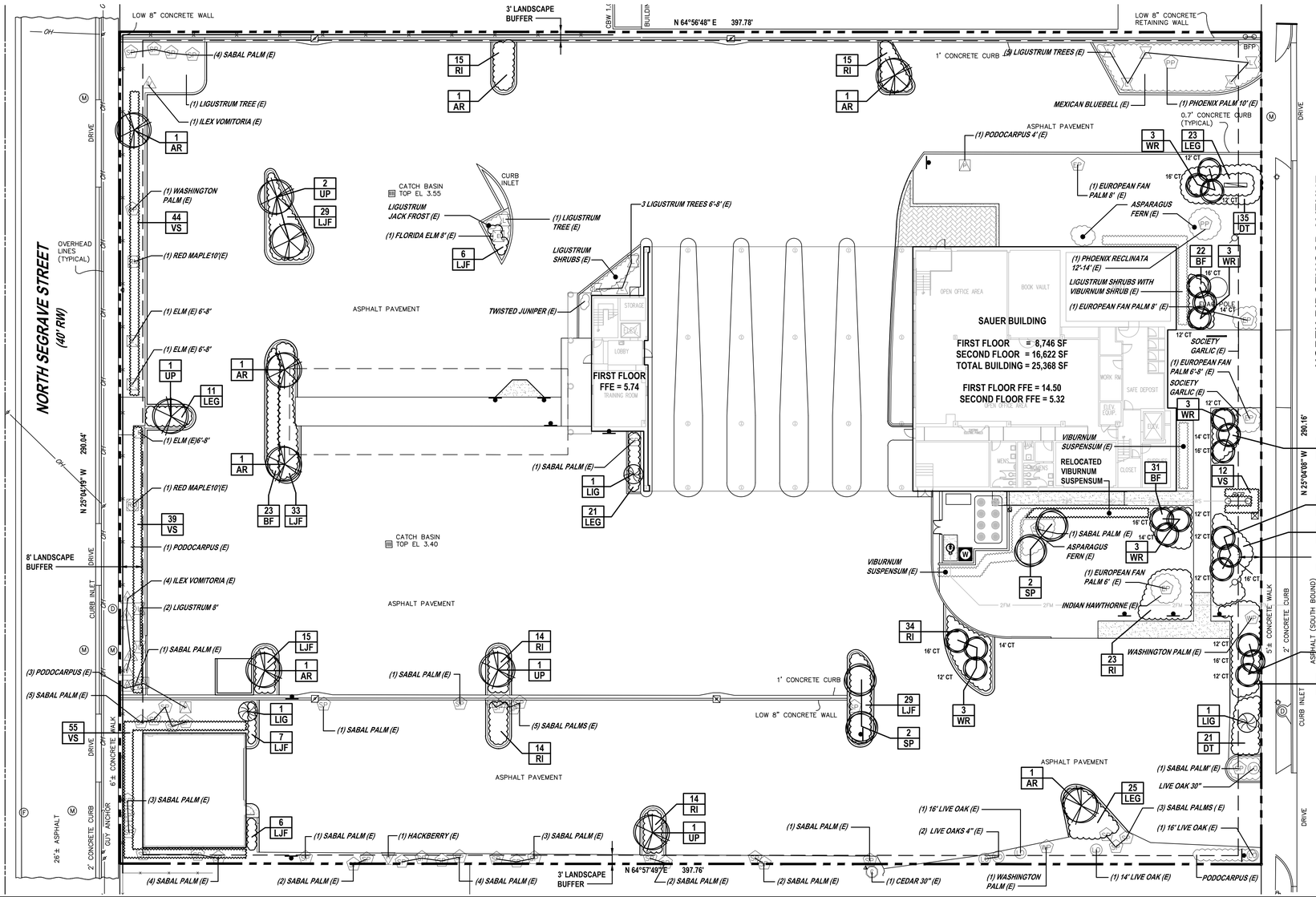
NOT TO SCALE

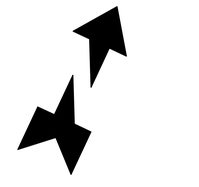
SHRUB PLANTING DETAIL

NOT TO SCALE

PROPOSED PLANT LIST

CODE	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS
		TREES		
AR	7	ACER RUBRUM	RED MAPLE	8'-10', FULL, 2" CAL. @ DBH
LIG	3	LIGUSTRUM JAPONICA	LIGUSTRUM TREE	8'-10' HGT., 6' SPR., MIN. 3 TRUNKS = 3" CAL. @ DBH
SP	4	SABAL PALMETTO	SABAL PALM	10'-14' CLEAR TRUNK
UP	5	ULMUS PARVIFOLIA	DRAKE ELM	8'-10' HGT., FULL, 2" CAL. @ DBH
WR	21	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	12' - 16' CLEAR TRUNK
SUBTOTAL	40			
		SHRUBS		
LJF	125	LIGUSTRUM SSP.	JACK FROST LIGUSTRUM	3 GAL., 18" HGT., 30" O.C.
RI	173	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	3 GAL., 18" HGT., FULL
VS	150	VIBURNUM SUSPENSUM	SANDANKWA	3 GAL., 30" HGT., 30" O.C.
SUBTOTAL	448			
		GROUND COVER		
BF	101	BULBINE FRUTESCENS	BULBINE	1 GAL., 14" HGT., FULL
DT	95	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	1 GAL., 14" HGT., FULL
LEG	80	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	1 GAL., 14" HGT., FULL
SUBTOTAL	276			
TOTAL	764			





LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR FLORIDA #1 OR BETTER AS DESCRIBED IN THE CURRENT "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, OR THEIR EQUAL AS DETERMINED BY THE LANDSCAPE ARCHITECT.
2. ALL MULCH SHALL BE ALL NATURAL WOOD (NO CYPRESS).
3. SOD SPECIFIED AS ST. AUGUSTINE "FLORITAM" SHALL BE 95% WEED-FREE. SOD SPECIFIED AS BAHIA SHALL BE 85% WEED-FREE. ALL SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED.
4. SEED, IF ANY, TO MEET SOUTHERN SEED CERTIFICATION ASSOCIATION.
5. ALL DIMENSIONS SHALL BE FIELD-CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
6. THE PLANT MATERIALS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR; SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN WILL PREVAIL.
7. ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO THE SPECIFICATIONS, THEY WILL BE REJECTED AT NO ADDITIONAL COST TO THE OWNER.
8. ALL PLANTING BEDS SHALL BE TREATED WITH 'ROUND-UP' AND 'RONSTAR'. USE AS DIRECTED BY MANUFACTURERS.
9. NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE ALLOWED AT THE TIME OF BIDDING SO AS TO PROVIDE FOR FAIR COMPARISON.
10. EXISTING IRRIGATION SYSTEM SHALL BE REVAMPED TO PROVIDE 100% COVERAGE.
11. THE CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND CONDITIONS PRIOR TO HIS COMMENCEMENT OF THE ANY WORK.
12. ALL BUILDING MATERIALS AND LABOR SHALL CONFORM TO THE SOUTHERN BUILDING CODE AND ALSO TO ALL LOCAL CODES THAT HAVE JURISDICTION.
13. ALL PERMIT AND VARIANCE APPLICATIONS SHALL BE MADE BY THE CONTRACTOR.
14. PRIOR TO CONSTRUCTION OF PLANTING BEDS, ALL AREAS ARE TO HAVE SOIL TESTS CONDUCTED TO DETERMINE pH AND SOIL FERTILITY. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO AMEND THE SOIL TO MEET ADEQUATE FERTILITY AND pH FOR CORRESPONDING PLANT MATERIAL. ALL TEST RESULTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
15. EQUIPMENT SHALL BE OPERATED IN A MANNER AS NOT TO INJURE OR DESTROY ANY TREES SHOWN TO REMAIN. CONTRACTOR SHALL NOT CAUSE OR ALLOW THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE DRIP LINE OF ANY TREE OR GROUPS OF TREES TO BE RETAINED OR THOSE PROPOSED. NOR SHALL THE CONTRACTOR ALLOW THE DISPOSAL OF WASTE MATERIAL, SUCH AS PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY TREE OR GROUP OF TREES. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS, OR PERMITS MAY BE FASTENED TO A TREE.
16. ANY EXISTING TREES CREDITED TOWARDS REQUIRED BUFFERS OR LANDSCAPE REQUIREMENTS REMOVED FOR ANY REASON SHALL BE REPLACED WITH TREES MEETING CITY APPROVAL WITH REGARDS TO SPECIES AND SIZE.
17. ALL QUESTIONS CONCERNING THE PLAN AND/OR SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (386) 672-9515.
18. ALL SHADE TREES AND SINGLE TRUNK UNDERSTORY TREES SHALL BE STAKED USING ARBORGUY STAKING SYSTEM FOR SINGLE STEM TREE AND ALL MULTI-TRUNK UNDERSTORY TREES SHALL BE STAKED WITH ARBORGUY MULTI-TRUNK SYSTEM.
19. ANY CHANGE IN STAKING SYSTEM MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT BEFORE BEING INSTALLED.
20. ALL UNIMPROVED AREA NOT OTHERWISE PLANTED OR MULCHED SHALL BE SODDED WITH ST. AUGUSTINE FLORITAM UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
21. PLANT MATERIAL SHALL BE CLEARLY IDENTIFIED AS FLORIDA #1 OR BETTER ON EITHER LABELS OR INVOICES.
22. ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
23. ALL TREES IN SOD TO BE IN A (4) FOOT MINIMUM-MULCHED RING AROUND.
24. TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
25. ALL PLANT SPECIFICATIONS MUST BE MET OR EXCEEDED.
26. PLANT TREE SO THAT ROOTBALL IS 1"-2" ABOVE FINISH GRADE.
27. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASS, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND A MINIMUM OF 3' OF CLEAN SAND WITH A pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
28. FOR ALL NEW DEVELOPMENT, OR REDEVELOPMENT OF EXISTING PROPERTY, THE APPLICANT SHALL BE REQUIRED TO REMOVE ALL INVASIVE NONNATIVE PLANT SPECIES FROM THE PROPERTY PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
29. ALL EXISTING TREES AND PALMS WILL BE PROPERLY PRUNED AND CLEANED OF DEADWOOD, BROKEN BRANCHES, DEAD FROND AND VINES AS NEEDED.

TREE LEGEND :

		EXISTING	REMOVED
CEDAR TREE	C	1	0
ELM TREE	E	6	2
HACKBERRY TREE	H	2	1
HOLLY TREE	A	5	0
LIGUSTRUM TREE	LI	11	0
MAPLE TREE	RM	2	0
OAK TREE	LO	7	0
PALM, EUROPEAN	EP	4	0
PALM, PHOENIX	PP	2	0
PALM, SABAL	SP	53	8
PALM, WHASHINGTONIA	WP	3	0
PODOCARPUS TREE	PA	6	2
TOTAL		102	13

OVERALL TREE COUNT:

EXISTING TO REMAIN	89
PROPOSED	40
TOTAL	129

NOTE:
THE LANSCAPE PLAN IS IN COMPLIANCE WITH THE CITY OF DAYTONA BEACH LAND DEVELOPMENT CODE, ARTICLE 6.3.

CITY APPROVAL STAMP
DEV 2015-072

REVISIONS

DATE	DESCRIPTION
8/5/15	CITY COMMENTS

RICHARD L. POORE, LA
PLANNER & LANDSCAPE ARCHITECT
330 GATEWOOD COURT • ORMOND BEACH, FLORIDA 32174
CELL: (386)212-8491 • RLA# 0000533

SAUER

LANDSCAPE PLAN
SAUER BUILDING
130 NORTH RIDGEWOOD AVENUE
DAYTONA BEACH, FL 32114

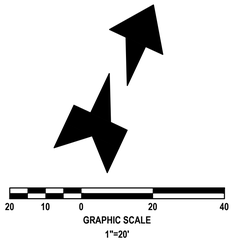
REGISTERED LANDSCAPE ARCHITECT
RICHARD L. POORE
LA533
STATE OF FLORIDA

NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-30
DATE:	APRIL 2015
DESIGN BY:	DAB
DRAWN BY:	HHN
CHECKED BY:	HHN
SCALE:	1" = 30'

DRAWING NUMBER

10

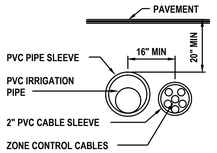


PIPE SIZING INFORMATION

GALLONS PER MINUTE (GPM)	PIPE SIZE
0-6	1/2"
7-10	3/4"
11-16	1"
17-28	1 1/4"
29-35	1 1/2"
35-55	2"

PIPE SLEEVE SCHEDULE	
PIPE SIZE	SLEEVE SIZE
2 1/2"	6"
1" THRU 2"	4"
1/2" AND 3/4"	3"

NOTE:
AT THE DISCRETION OF THE IRRIGATION CONTRACTOR, THE DIAMETER OF THE SLEEVE PIPE MAY BE REDUCED.

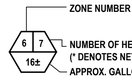


IRRIGATION LEGEND

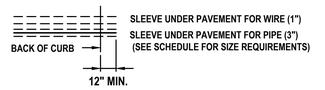
(USE THE FOLLOWING IRRIGATION EQUIPMENT OR EQUAL)

15 SERIES MPR		FLOW RATE (GPM)
(A)	ADJUSTABLE 15' RADIUS	VARIES
(Q)	QUARTER	0.92
(H)	HALF	1.85
(T)	THREE QUARTER	2.78
(F)	FULL	3.70

		FLOW RATE (GPM)
☐	15' EST	0.61
☑	15' SST	1.21
☒	9' SST	1.73
■	15' CST	1.21



1-1/2" IRRIGATION MAIN (MUST BE SCH 40 PIPE)

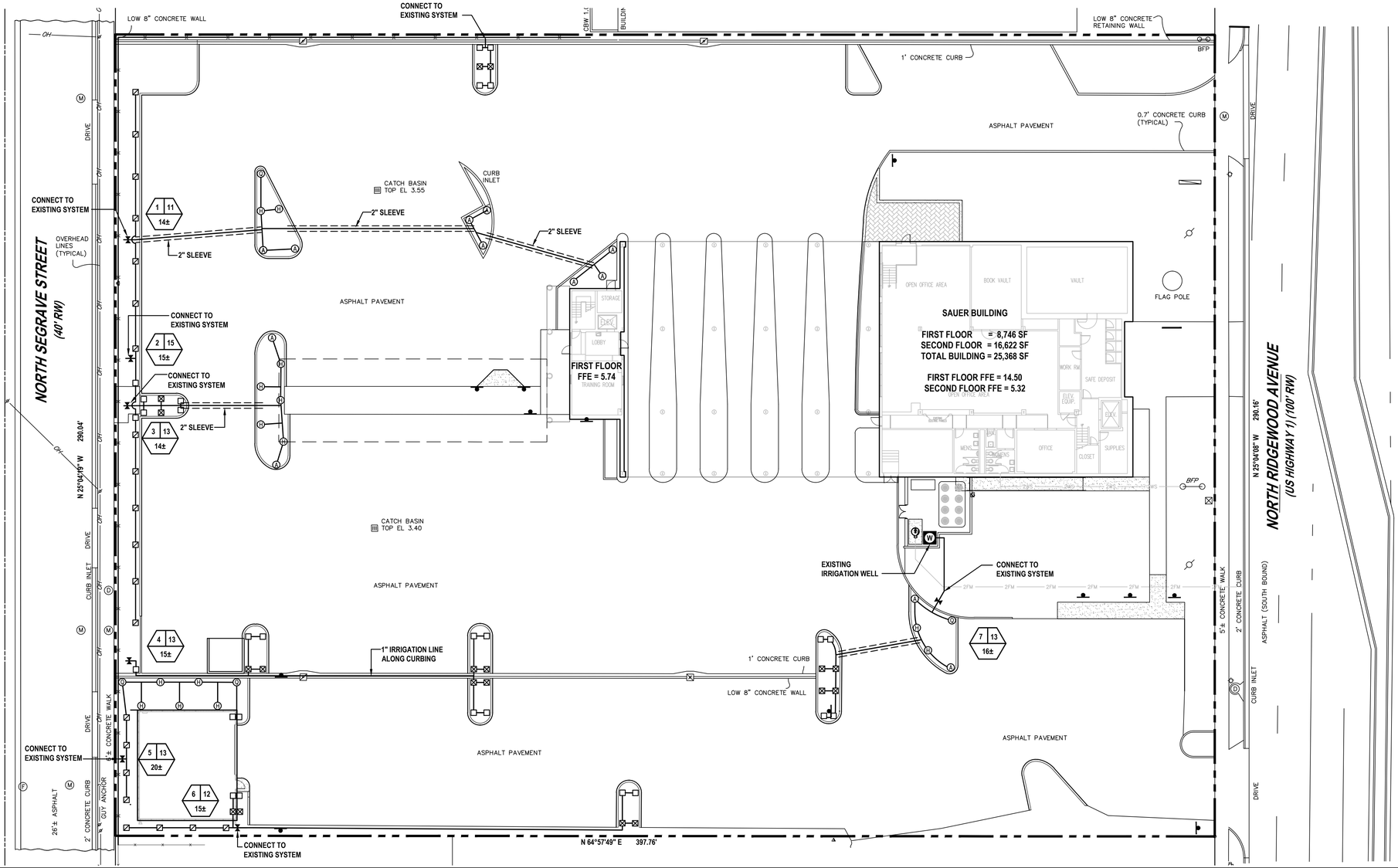


(C) CONTROLLER ARE WITH VALVE

(R) RAIN SENSOR SHUTOFF (ON TOP OF CONTROL BOX OR PEDESTAL MOUNT)

ZONE CONTROL VALVE
(HUNTER 1" SVC-100 VALVE B)

NOTE: ALL HEADS MUST BE PRESSURE COMPENSATING OR ALL VALVES MOST BE PRESSURE COMPENSATING.



IRRIGATION NOTES:

1. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ITS COMMENCEMENT OF THE IRRIGATION WORK.
2. *CHECK PRESSURE AND GPM OF WATER SUPPLY BEFORE BEGINNING JOB AND REPORT FINDING TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT WILL MAKE ANY ADJUSTMENT NECESSARY TO MAKE SYSTEM WORK AT ITS BEST.*
3. THE PLAN IS SCHEMATIC ONLY. THE CONTRACTOR SHALL INSTALL PIPING IN A MINIMUM NUMBER OF TRENCHES AND SHALL INSTALL PIPE IN A MINIMUM LENGTH.
4. QUANTITIES FOR IRRIGATION MATERIALS ARE NOT GIVEN. THE CONTRACTOR SHALL DETERMINE THIS FROM THE PLAN.
5. INSTALL SLEEVE PIPING WHERE SHOWN ON THE DRAWINGS AT THE PROPER DEPTH.
6. ALL SLEEVE PIPE SHALL BE SCHEDULE 40 PVC PIPE INSTALLED A MINIMUM OF 20" BELOW FINISHED PAVING GRADES.
7. ALL SLEEVES WHEN PLACED IN FIELD ARE TO BE LOCATED BY A METAL PIPE AT EACH END AND LOCATED FROM TWO STATIONARY POINTS BY TAPE MEASUREMENTS.
8. ALL PIPE SHALL BE INSTALLED A MINIMUM OF 20" BELOW GRADE.
9. ALL TRENCHING SHALL BE KEPT OUT OF THE DRIP LINE AREA OF ALL EXISTING TREES. USE RADIAL LINES OR TUNNELING WHEN NECESSARY TO ENCROACH INTO THE DRIP LINE AREA OF TREES.
10. LOCATE ALL VALVES AND OTHER IRRIGATION EQUIPMENT IN PLANT BED AREAS WITHIN THE PROJECT LIMITS FOR CONCEALMENT PURPOSES.
11. RISERS ARE TO BE HIDDEN COMPLETELY IN SHRUBBERY OR PAINTED BLACK AND IN NO CASE BE HIGHER THAN THE SHRUBBERY INSTALLED.
12. ALL PIPE EXPOSED ABOVE GRADE AND TO VIEW SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE OF THE NOTED SIZE.
13. ALL IRRIGATION EQUIPMENT (PUMP, CONTROLLER, ETC.) SHALL BE PLACED WITHIN FENCED ENCLOSURE.
14. ALL VALVES SHALL BE INSTALLED IN METER TYPE SIZE BOXES EQUAL TO AMETEK POLY-IRON.
15. PROVIDE A 6" GRAVEL SUMP AT THE BOTTOM OF ALL METER BOXES AND INSTALL 1/2" TO 1" DIAMETER GRAVEL AT THE BOTTOM OF THE VALVE PIT.
16. IRRIGATION SHALL MEET ALL APPLICABLE CURRENT MUNICIPAL, COUNTY, STATE OR FEDERAL CODES, ORDINANCES AND REGULATIONS THAT HAVE JURISDICTION.
17. ALL PIPE 1/2" TO 2 1/2" IN SIZE SHALL BE PRESSURE RATED 160 PVC (EXCEPT MAIN).
18. ALL FITTINGS SHALL BE SCHEDULE 40 PVC.
19. ALL SPRAY HEADS ARE TO BE A MINIMUM OF 6" POP-UP AND ALL HEADS IN PLANTING AREAS TO BE 12" POP-UP OR RISERS. RISERS SHALL BE PAINTED GREEN OR BLACK.
20. ELECTRICAL TO CONTROLLER SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR (NOT IRRIGATION CONTRACTOR)

NOTE:

1. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CITY AND COUNTY WATER WISE ORDINANCE REQUIREMENTS. THE IRRIGATION CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE ANY DEVIATIONS TO THE DRAWING.
2. IRRIGATION LINES ARE SHOWN DIAGRAMATICALLY AND ARE INTENDED TO SHOW DISTRIBUTION ZONES ONLY. ALL VALVES SHALL BE LOCATED WITHIN PLANTING AREAS (NOT WITHIN PAVEMENT). LINES LOCATED UNDER PAVEMENT SHALL BE KEPT TO A MINIMUM AND ALL PIPING UNDER PAVED AREAS SHALL BE SLEEVED.
3. WHEN INSTALLING IRRIGATION PIPING IN ISLAND AND OTHER NARROW PLANTING AREAS RUN PIPING CLOSE TO CURB AND NOT DOWN THE MIDDLE OF THE PLANTING AREA. (BEFORE DOING IRRIGATION GET A COPY OF THE LANDSCAPE PLAN AND KEEP IRRIGATION LINES OUT OF PLANTING AREAS WHERE POSSIBLE.)
4. NO SIGNIFICANT IRRIGATION OVERTHROW SHALL BE ALLOWED ONTO IMPERVIOUS SURFACES.

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REVISIONS

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CELL: (386)212-8491 • RLA# 0000533

SAUER

IRRIGATION PLAN
SAUER BUILDING
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DAYTONA BEACH, FL 32114

REGISTERED LANDSCAPE ARCHITECT
RICHARD L. POORE
LA533
STATE OF FLORIDA
NOT VALID UNLESS SIGNED AND SEALED

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