

Proposed New Tenant Buildout

901 Main Street
Daytona Beach,

Florida

SCOPE OF WORK

FLORIDA BUILDING CODE 2020 (SEVENTH EDITION)

SCOPE OF WORK: INTERIOR WORK ONLY.
NEW BUILD OUT OF EXISTING SECOND FLOOR SPACE FOR AN
A-2 OCCUPANCY (BAR/RESTAURANT)
INSTALL NEW KITCHEN AND BAR EQUIPMENT AS SHOWN.
CONSTRUCT NEW RESTROOMS AND ACCESSORY SPACES.
NEW ACCESSIBLE FIXTURES AS REQUIRED.

NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT
AS REQUIRED.

ALL RENOVATION WORK SHALL BE DONE BY LICENSED
CONTRACTORS AND SHALL MEET ALL STATE AND LOCAL
CODES.

BUILDING TYPE III B. UNPROTECTED AND FIRE SPRINKLERED.

ANY MODIFICATIONS TO EXISTING FIRE SPRINKLERS AS A
RESULT OF NEW BUILDOUT SHALL BE DONE BY A FLORIDA
LICENSED SPRINKLER CONTRACTOR UNDER A SEPARATE PERMIT.

APPLICABLE CODES

F.B.C.E.B.	2020 SEVENTH EDITION
F.E.B.C.	2020 SEVENTH EDITION
F.B.C.M.	2020 SEVENTH EDITION
F.B.C.P.	2020 SEVENTH EDITION
F.F.P.C.	2020 SEVENTH EDITION
N.E.C.	2020 SEVENTH EDITION
F.B.C. ACCESSIBILITY	2020 SEVENTH EDITION
F.B.C. ENERGY CONSERVATION	2020 SEVENTH EDITION
N.F.P.A. 1 UNIFORM FIRE CODE	2021 EDITION

ALL CODES AS ADOPTED BY THE CITY OF DAYTONA BEACH

PLANS CONFORM TO THE REQUIREMENTS OF THE FLORIDA
BUILDING CODE - EXISTING BUILDING 2020 EDITION OF
FBCES WITH ADOPTED SUPPLEMENTS
AND ALL REQUIREMENTS OF THE CITY OF DAYTONA BEACH.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS
CONDITIONS PRIOR TO CONSTRUCTION.

ALL FINISHES AND FIXTURES TO BE AS SELECTED BY OWNER.

BAR EQUIPMENT NOTES

- 4 Ice Wells
- Soda Rack that will dispense to the 4 Drink Wells
- 3 Slush Makers
- 3 compartment Sinks
- POS Terminal
- 1 Ice Machine
- 3 Beer Coolers
- 2 Keg Coolers (in the Keg Cooler Room)
- Liquor Shelves

- The 4 (four) Ice Wells will be model "Regency 18" x 24" Underbar Ice Bin." They will need drains run from them. They will not need electricity. There will be a soda gun mounted next to each, and a rack surrounding each of them to hold liquor bottles.
- The Soda rack will be provided by the vendor (either Cole or Pepsi) who will supply the rack, run the lines for the soda guns, and mount the appropriate equipment for carbonation. It will require a water supply.
- The slush makers will consist of 1 (one) SanServ 108C 25 Qt. Air Cooled Frozen Cocktail Machine, and 2 (two) Burn 34000.0079 Ultra-2 HP High Performance White and Stainless Steel Double 3 Gallon Pour-over Slushy / Granita Frozen Drink Machine - 120V
- The 2 (two) 3 compartment sinks will be Regency 78" 16-Gauge Stainless Steel Three Compartment Commercial Sink with Galvanized Steel Legs and 2 Drainboards - 15" x 15" x 12" Bowls. This size may be adjusted as the bar plans are finalized. These will each need a drain run from them, and will also need both hot and cold water supply.
- The POS terminals will need CAT 5 cable run to them (as well as the POS terminals outside of the bar, listed in previous correspondence). They will need a dedicated 20 amp circuit as well, preferable GFCI. We currently use the Alpha POS.
- The ice machine will be a Hoshizaki KM-1340MAJ 30" Air Cooled Crescent Cube Ice Machine - 208-230V; 1 Phase; 1275 lb. This is separate from the ice machine that will be located in the kitchen.
- The 3 (three) Beer Coolers will be Hoshizaki CC55 95" Black Horizontal Bottle Cooler. If 3 of this size will not fit, we will adjust sizes as needed.
- The 2 (two) keg coolers will be Hoshizaki D080 Black Double Tap Kegerator Beer Dispenser - (4) 1/2 Keg Capacity. If there is room for additional coolers in the keg cooler room, we would like to have the ability to add on later. If that is all that fits in the room, we will make do with that.
- Liquor shelves - these will be built onto the wall, with walls made of glass blocks with strip lighting added behind each shelf. Other than a 120V plug, these need no special electrical consideration.

REPAIR EXISTING DECK FLOOR
TO MATCH EXISTING AS REQUIRED

INTERIOR DINING
282 TABLE SEATS

RAISED STAGE

NEW WALLS HERE ON STAGE
TO EXISTING WINDOW HEIGHT

EXTERIOR DINING
120 SEATS

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.

PROPOSED SECOND FLOOR LAYOUT 3/16" = 1'-0"

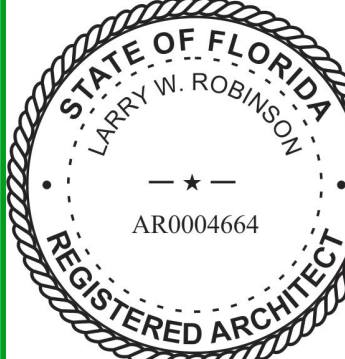
480 TOTAL SEATING

WALL LEGEND

- EXISTING 8" CONCRETE BLOCK WALLS
- EXISTING WALLS TO REMAIN UNCHANGED
- NEW METAL STUD FRAMING @ 24" O.C. MAX. W/ 1/2" DRYWALL
- NEW 1 HOUR FIRE RATED METAL FRAMING W/ 5/8" TYPE "X" GYP. BOARD @ EACH SIDE PER U.L. # U-419

REVISIONS	
DATE	DESCRIPTION

NOT VALID UNLESS SIGNED AND DATED



FL. REG. ARCHITECT # AR0004664



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PROPOSED SECOND
FLOOR PLAN

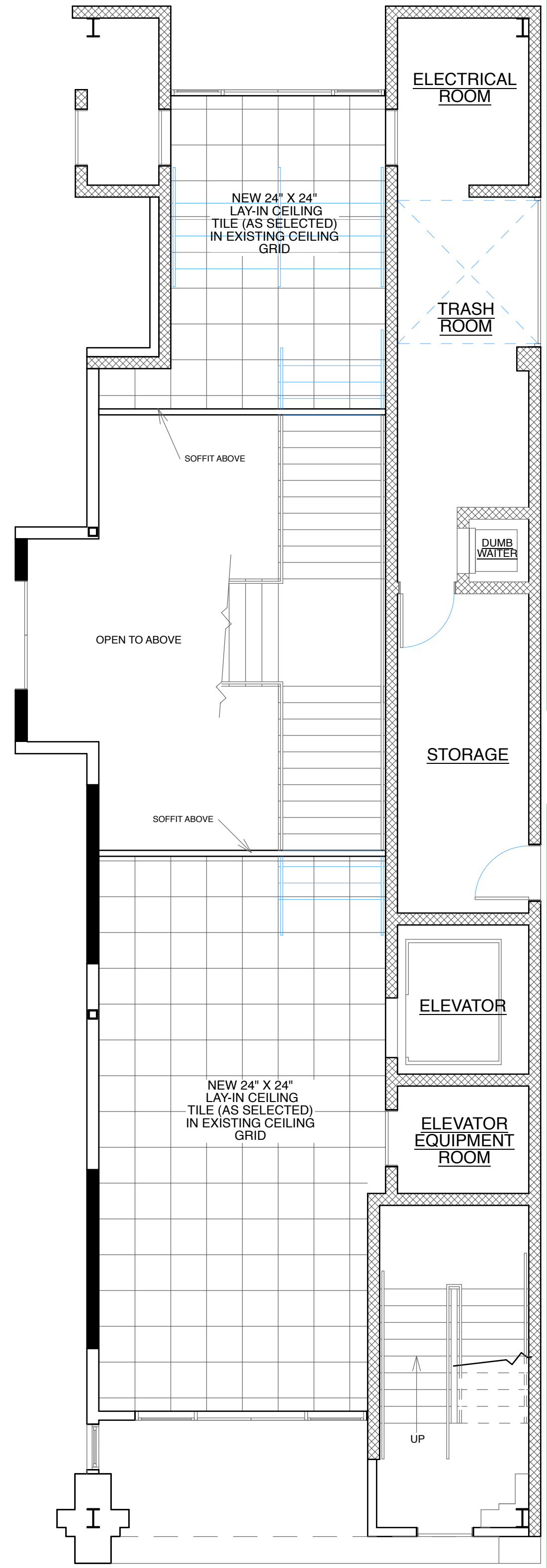
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PROPOSED FIRST FLOOR PLAN 3/16" = 1'-0"

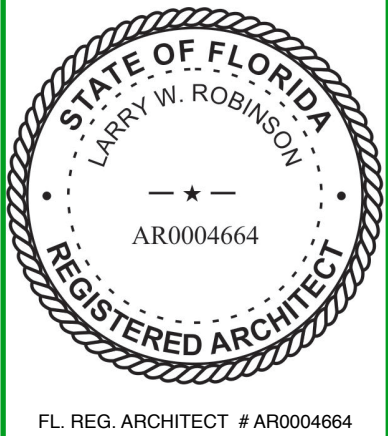
- WALL LEGEND
- EXISTING 8" CONCRETE BLOCK WALLS
 - EXISTING WALLS TO REMAIN UNCHANGED
 - NEW METAL STUD FRAMING @ 24" O.C. MAX. W/ 1/2" DRYWALL
 - NEW 1 HOUR FIRE RATED METAL FRAMING W/ 5/8" TYPE "X" GYP. BOARD @ EACH SIDE PER U.L. # U-419



LOBBY REFLECTIVE CEILING PLAN 3/16" = 1'-0"

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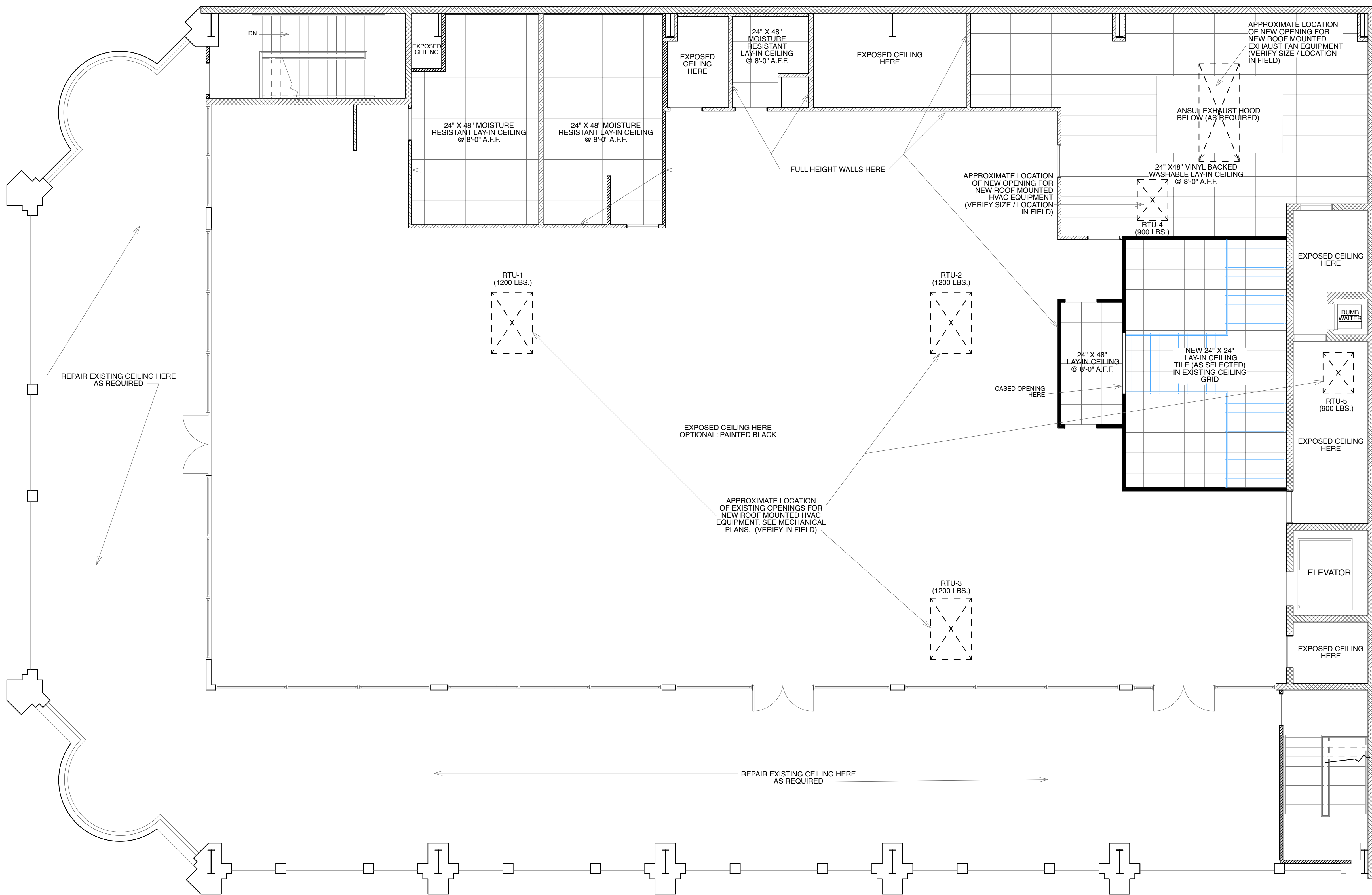
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PROPOSED FIRST FLOOR PLAN

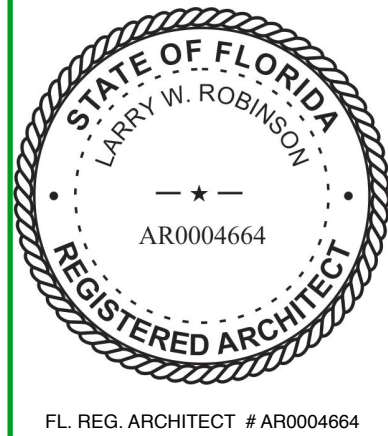
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SECOND FLOOR REFLECTIVE CEILING PLAN 3/16" = 1'-0"

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REFLECTIVE
CEILING PLANS

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BUILDING INFORMATION
ALL INFORMATION PER FLORIDA BUILDING CODE 2020 6TH EDITION WITH ALL ADOPTED AMMENDMENTS AND N.F.P.A. 1 AND N.F.P.A. 101 LIFE SAFETY CODE INCLUDING F.F.P.C. 2020 EDITION.

TYPE OF CONSTRUCTION
BUILDING IS A TYPE III B, UNPROTECTED FIRE SPRINKLERED, FOR A MIXED OCCUPANCY. RETAIL OCCUPANCY ON THE FIRST FLOOR, A NEW A-2 ASSEMBLY OCCUPANCY, (RESTAURANT AND BAR) ON THE SECOND FLOOR.
EXISTING CONCRETE BLOCK BUILDING WITH STEEL JOIST SECOND FLOOR AND ROOF. METAL STUD FRAMED INTERIOR WALLS WITH DRYWALL FINISH.
POURED CONCRETE FLOOR ON GRADE.

EXIT CALCULATIONS

OCCUPANCY LOAD AS DETERMINED BY TABLE 1004.1.2
2020 FLORIDA BUILDING CODE:

TOTAL SQUARE FOOTAGE: 7,840 SQ. FT. (INTERIOR)

OCCUPANT LOAD: GROUP A-2 (RESTAURANT)

1 PERSON/ 15 NET SQ. FT.:
INTERIOR AREA (NET): 4454 SQ. FT.
4454/15 = 296 PEOPLE

EXTERIOR DECK AREA (NET): 2,760 SQ. FT.
2760/15 = 184 PEOPLE

TOTAL OCCUPANT LOAD: 480 PEOPLE

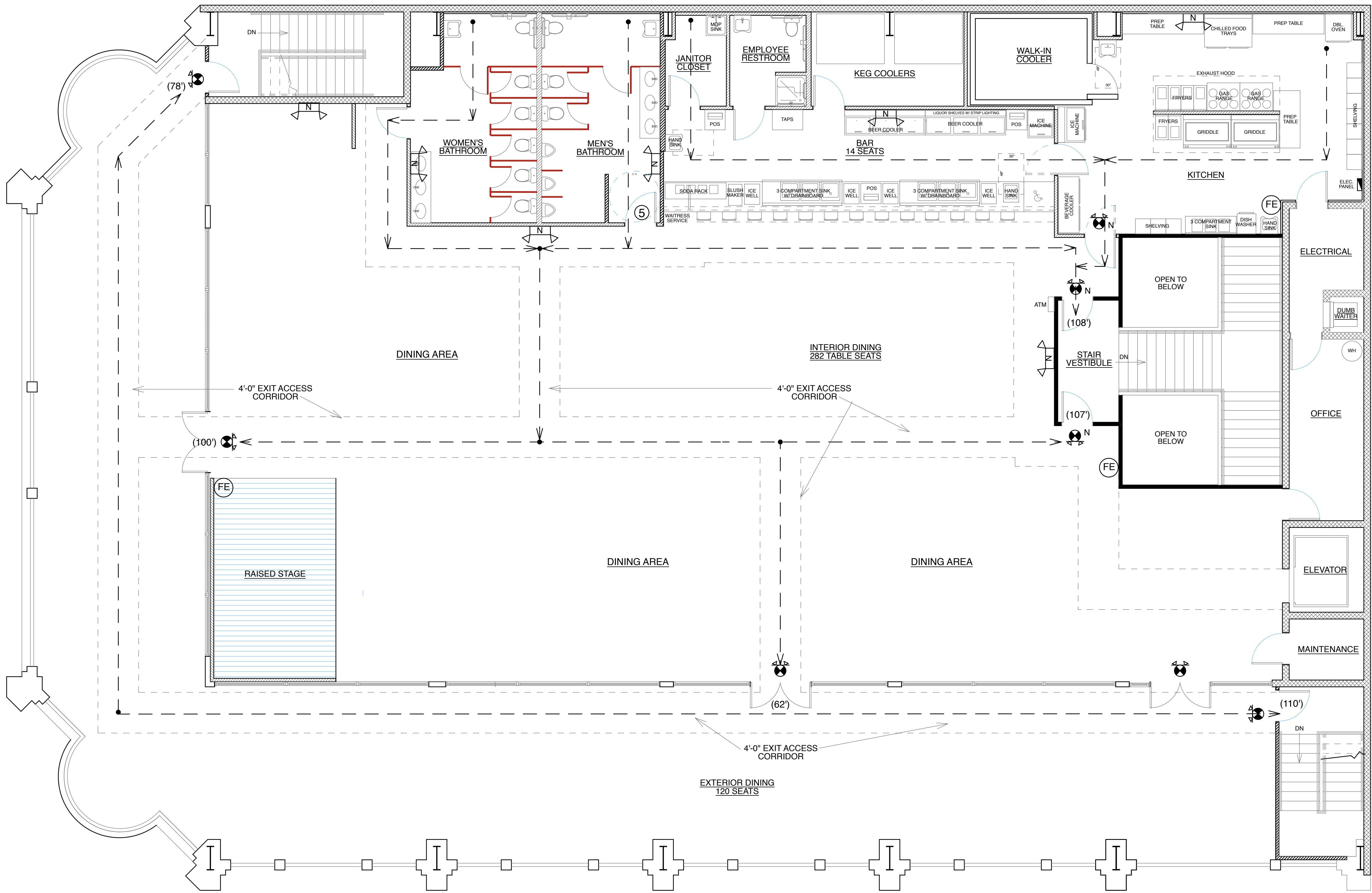
REQUIRED EXIT WIDTH: 3" X 480 = 144"

ACTUAL EXIT WIDTH: 144" OF EXIT: (4 EXITS @ 36" EACH)

ACTUAL STAIR WIDTH: 144" OF STAIR WIDTH: (2) @ 36" EA. (1) @ 72"

LIFE SAFETY LEGEND

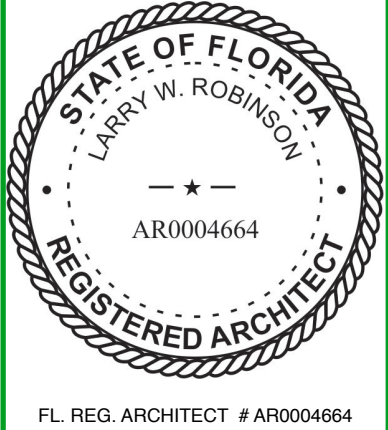
- DIRECTION OF EXIT TRAVEL
- MAXIMUM TRAVEL DISTANCE
- EXISTING EXIT LIGHTS
- NEW EXIT LIGHTS
- NEW EMERGENCY LIGHTS
- NEW WALL MOUNTED FIRE EXTINGUISHER



LIFE / SAFETY PLAN 3/16" = 1'-0"

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LIFE SAFETY
PLAN

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OF 7

GENERAL NOTES

ALL BASE TRIM, WALL PANELS AND COVERINGS SHALL BE CLOSED AT JOINTS AND SEALED TO WALL AND CEILING WITH A CONTINUOUS BEAD OF CLEAR SEALANT.

WALLS AT FOOD PREPARATION AREAS SHALL BE WASHABLE WITH A BEAD OF CLEAR SEALANT AT ALL JOINTS AND TRIM. ALL PAINTED SURFACES SHALL BE WITH A SMOOTH WASHABLE FINISH.

STAINLESS STEEL WALL PANELS OR QUARRY TILE FINISH AT EXHAUST HOOD AREAS.

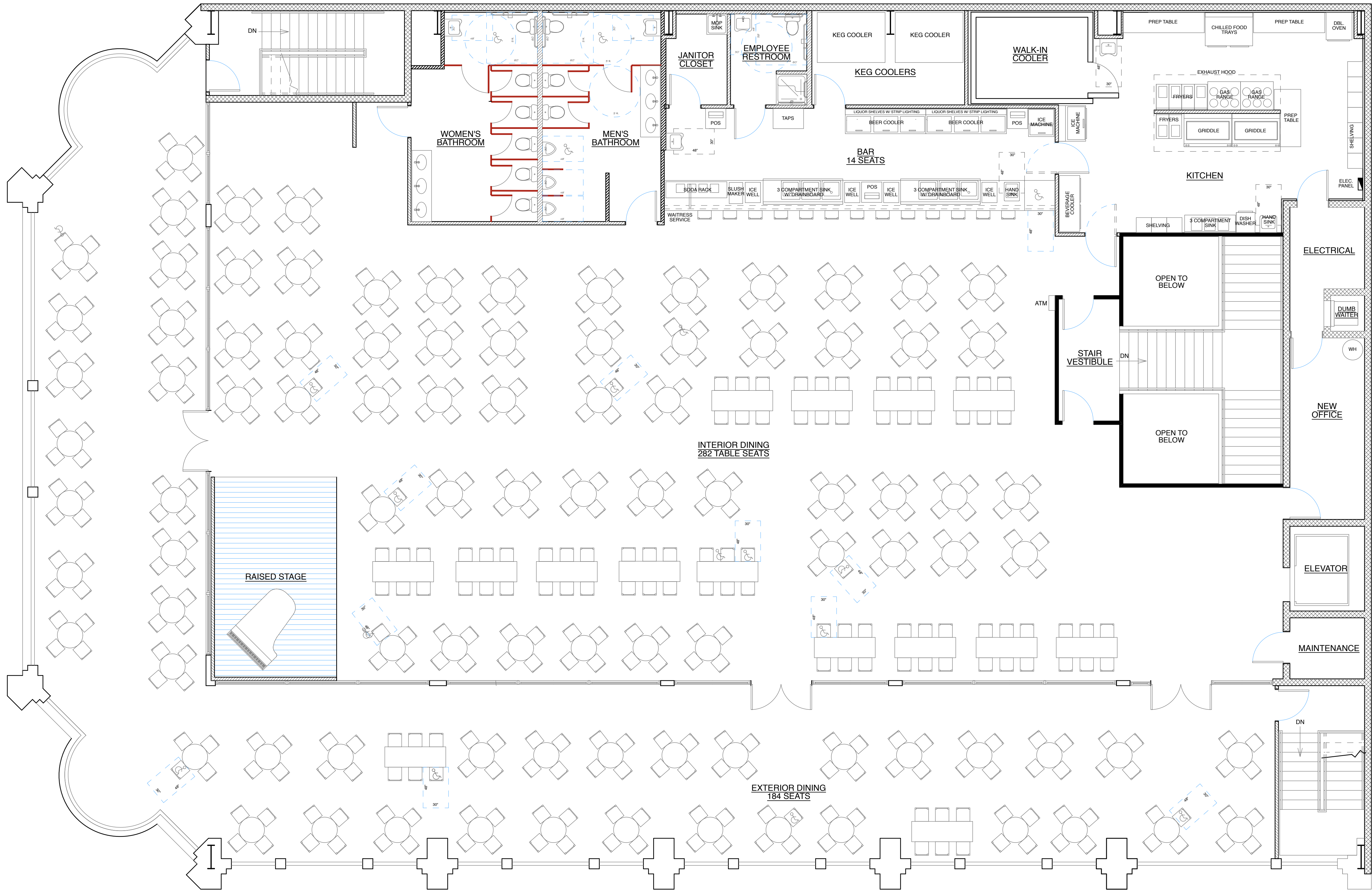
A MINIMUM 20 FOOTCANDLES REQUIRED AT WORK SURFACES AND RESTROOMS.

A MINIMUM 10 FOOTCANDLES AT 30" A.F.F. REQUIRED IN DINING AREAS AND OTHER AREAS DURING CLEANING.

HOT WATER SERVICE WITH SANITARY HAND WASHING AND DRYING FACILITIES REQUIRED AT ALL HAND SINKS. PAPER TOWEL AND SOAP DISPENSER SHALL BE PROVIDED AT EACH HAND SINK.

WATER AND SEWAGE SERVICE SHALL BE PROVIDED BY THE CITY OF DAYTONA BEACH.

GARBAGE REMOVAL SHALL BE PROVIDED BY THE CITY OF DAYTONA BEACH. DUMPSTER SHALL BE ON SITE ON A CONCRETE SLAB.



FLORIDA DIVISION OF BUSINESS & PROFESSIONAL REGULATION PLAN 3/16" = 1'-0"

ROOM FINISH SCHEDULE

ALL FINISHES, MATERIALS AND COLORS AS SELECTED BY OWNER.

	FLOOR	BASE	WALLS	CEILING
DINING AREA	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
BAR AREA	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
KITCHEN	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
PUBLIC RESTROOMS	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
STAIR VESTIBULE	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
JANITOR'S CLOSET	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
KEG COOLER ROOM	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
WALK-IN COOLER	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
EMPLOYEE RESTROOM	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
PANTRY	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
OFFICE	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
MECHANICAL	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL
EXTERIOR DINING	COMPOSITE TILE	QUARRY TILE	PAINTED DRYWALL	PAINTED DRYWALL

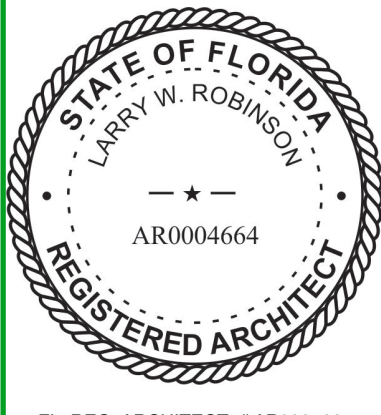
NOTE: STAINLESS STEEL PANEL AT ANSUL / EXHAUST HOOD AREA
FRP WALL PANELS AT BACK OF ALL NEW KITCHEN SINK AREAS

SEATING LEGEND

TOTAL INTERIOR SEATING: 296 PEOPLE
INTERIOR SEATING SHOWN: 282 TABLE SEATS
14 BAR SEATS
TOTAL TERRACE SEATING: 184 TABLE SEATS
TOTAL SEATING SHOWN: 480 SEATS

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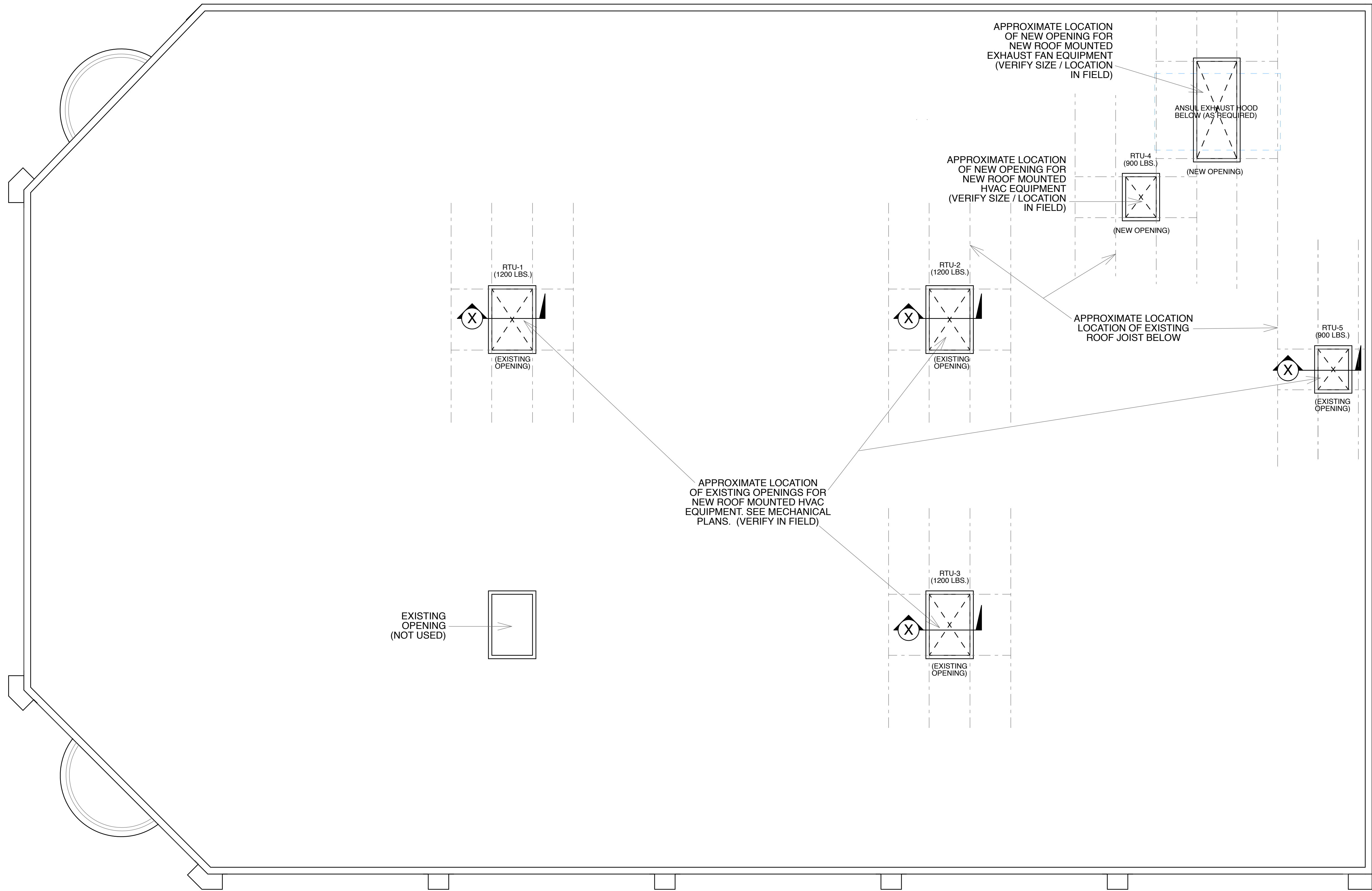
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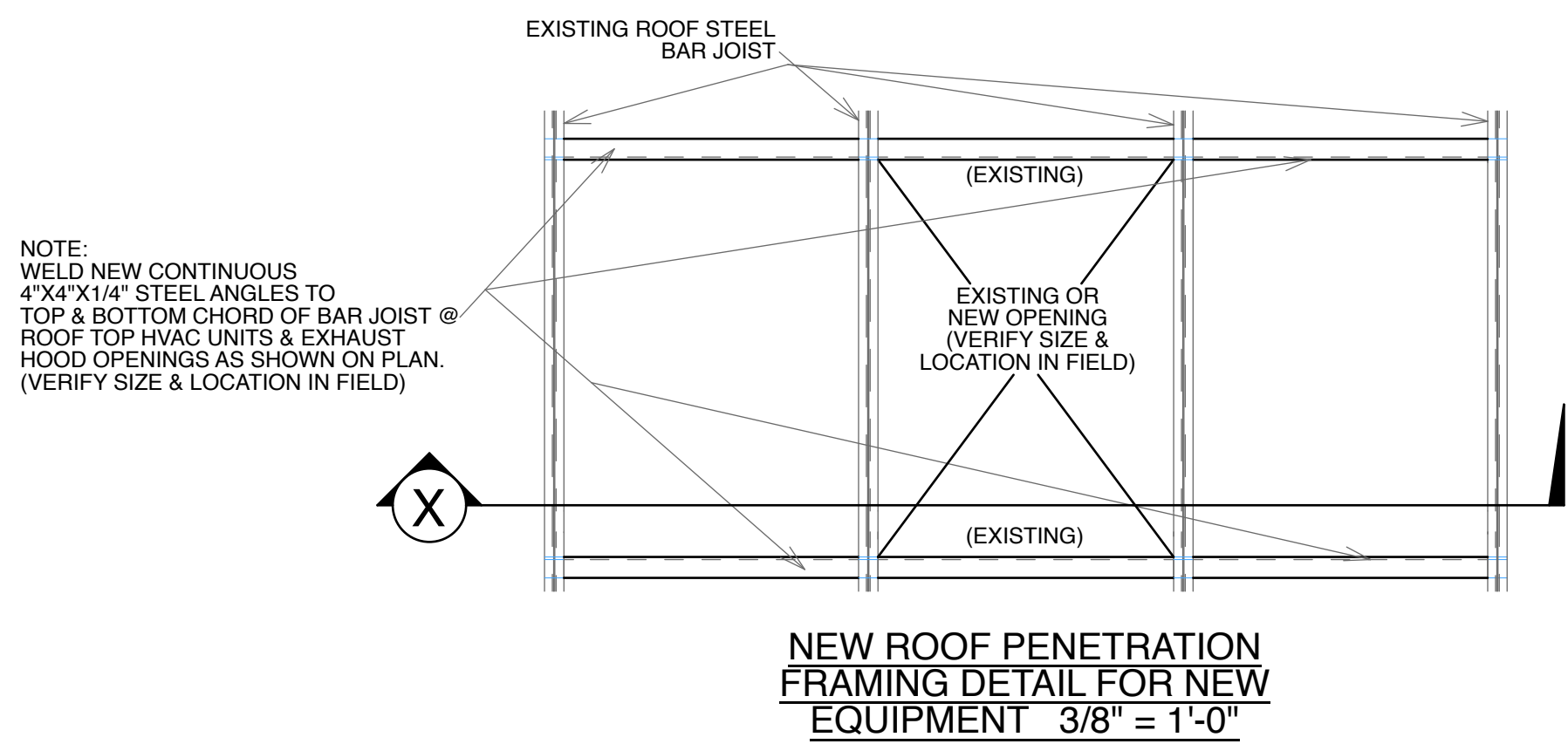
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SHEET
FLORIDA DIVISION
OF BUSINESS &
PROFESSIONAL
REGULATION PLAN

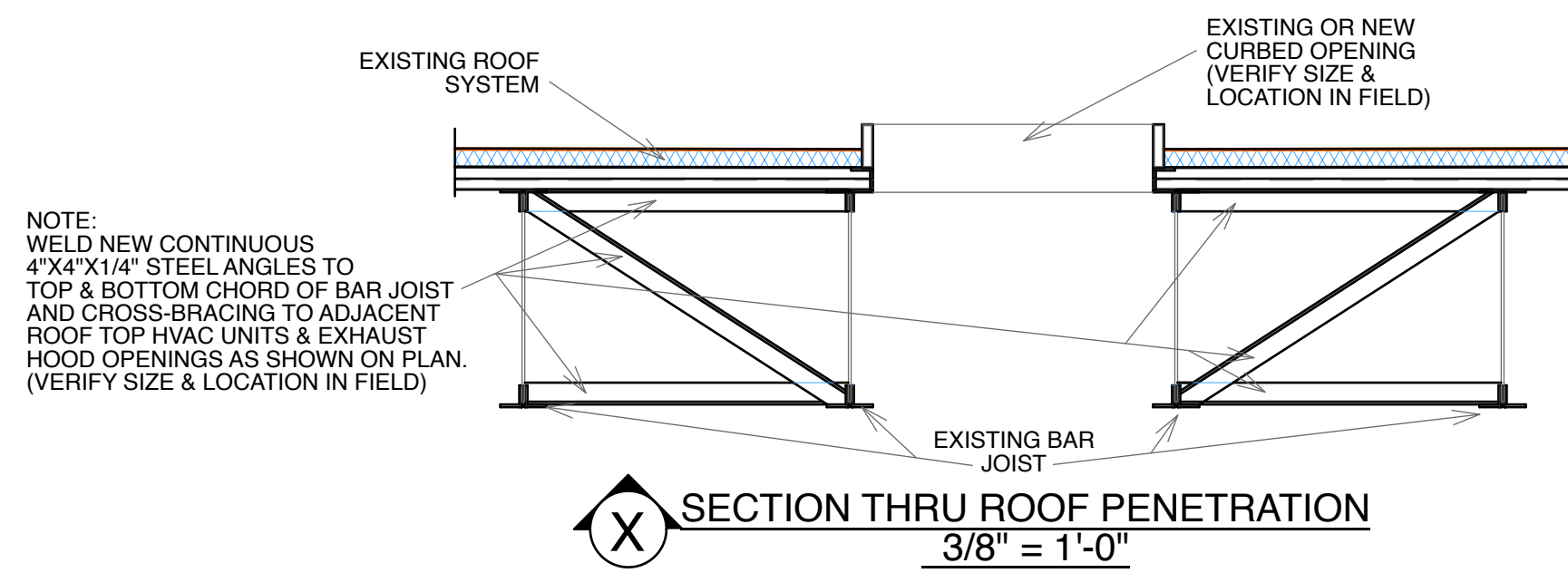
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ROOF PLAN 3/16" = 1'-0"



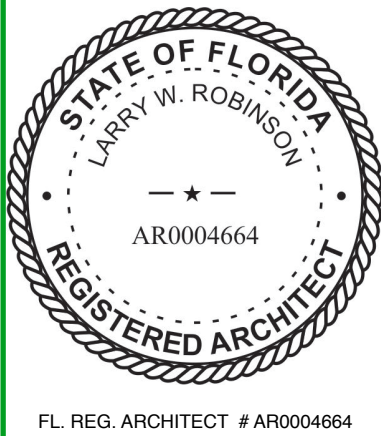
NEW ROOF PENETRATION
FRAMING DETAIL FOR NEW
EQUIPMENT 3/8" = 1'-0"



SECTION THRU ROOF PENETRATION
3/8" = 1'-0"

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ROOF PLAN

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