

RESTAURANT & RETAIL

WESTLAKE PLAZA FOR LEASE

5237-5263 PARAMOUNT BLVD. | LAKEWOOD, CA 90712



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LEASING

BROKERAGE

INVESTMENTS

PROPERTY DESCRIPTION

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PROPERTY DESCRIPTION

Presenting an exceptional opportunity for businesses seeking a vibrant and accessible location, Westlake Plaza offers two retail office spaces for lease. All spaces are versatile, catering to a range of uses such as electronic repairs, staffing agencies, vitamin shops, tutoring services, martial arts academies, print shops, professional offices, chiropractors, physical therapy centers, hobby or collectibles stores, escape rooms, and more. Whether you're establishing a new venture or expanding an existing one, these units provide an ideal canvas for success. Act fast to secure a spot in this dynamic community center.

LOCATION DESCRIPTION

Nestled in the heart of Lakewood, Westlake Plaza exudes accessibility and visibility. With two retail office spaces currently available, both openings boast prime street-front exposure, ensuring maximum visibility for businesses. The center is a hub of convenience with ample parking spaces, making it an attractive destination for customers. Westlake Plaza is a thriving community center hosting various service-oriented businesses that draw in repeat customers, creating a bustling atmosphere. Connected to a signalized intersection, the plaza enjoys a daily traffic count exceeding 36,000, providing an optimal setting for businesses to flourish. Notably, a #1,245 SF Free Standing Restaurant is also available, currently occupied by Mama Mia Pizza (DO NOT DISTURB TENANT), offering a unique dining opportunity within the plaza.

HIGHLIGHTS

- **Prime Location:** Situated in Westlake Plaza, the neighborhood strip center offers maximum visibility and accessibility for businesses.
- **Ample Parking:** Both retail office spaces and the restaurant come with excellent parking facilities, ensuring convenience for customers.
- **Diverse Business Hub:** Westlake Plaza hosts a variety of service-oriented businesses, attracting repeat customer traffic and creating a thriving community atmosphere.
- **Versatile Spaces:** The available #850 and #1,407 SF units, along with the #1,245 SF Free Standing Restaurant, are suitable for a range of uses, including electronic repairs, staffing agencies, vitamin shops, tutoring services, martial arts academies, print shops, professional offices, chiropractors, physical therapy centers, hobby or collectibles stores, and more.

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LEASE SPACES

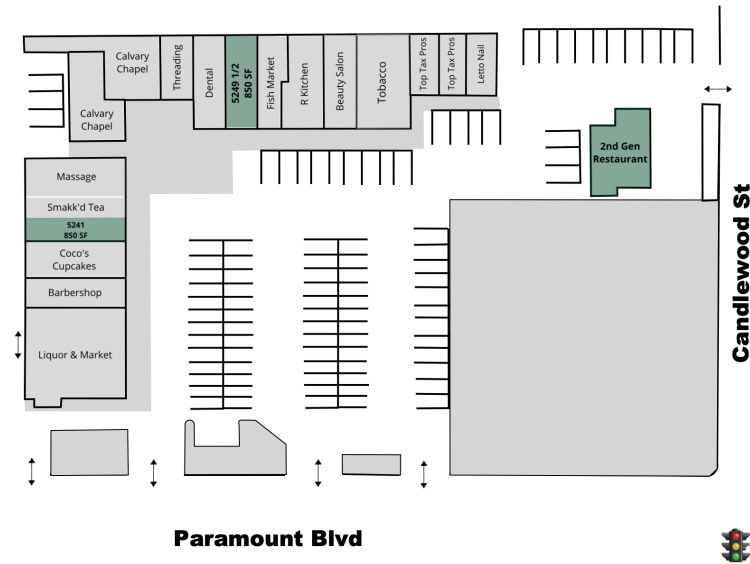
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LEGEND

Available

Unavailable



LEASE INFORMATION

Lease Type:	Including NNN; NNN	Lease Term:	Negotiable
Total Space:	850 - 4,042 SF	Lease Rate:	\$2,975.00 - \$7,470.00 per month

AVAILABLE SPACES

SUITE	TENANT	SIZE	TYPE	RATE	DESCRIPTION
5241	Available	850 SF	Including NNN	\$2,975 per month	Retail/Office
2616 PAD	Available	1,245 SF	Including NNN	\$7,470 per month	Free Standing Restaurant - Do Not Disturb
5249 1/2	Available	850 SF	NNN	Negotiable	Former Boost Mobile

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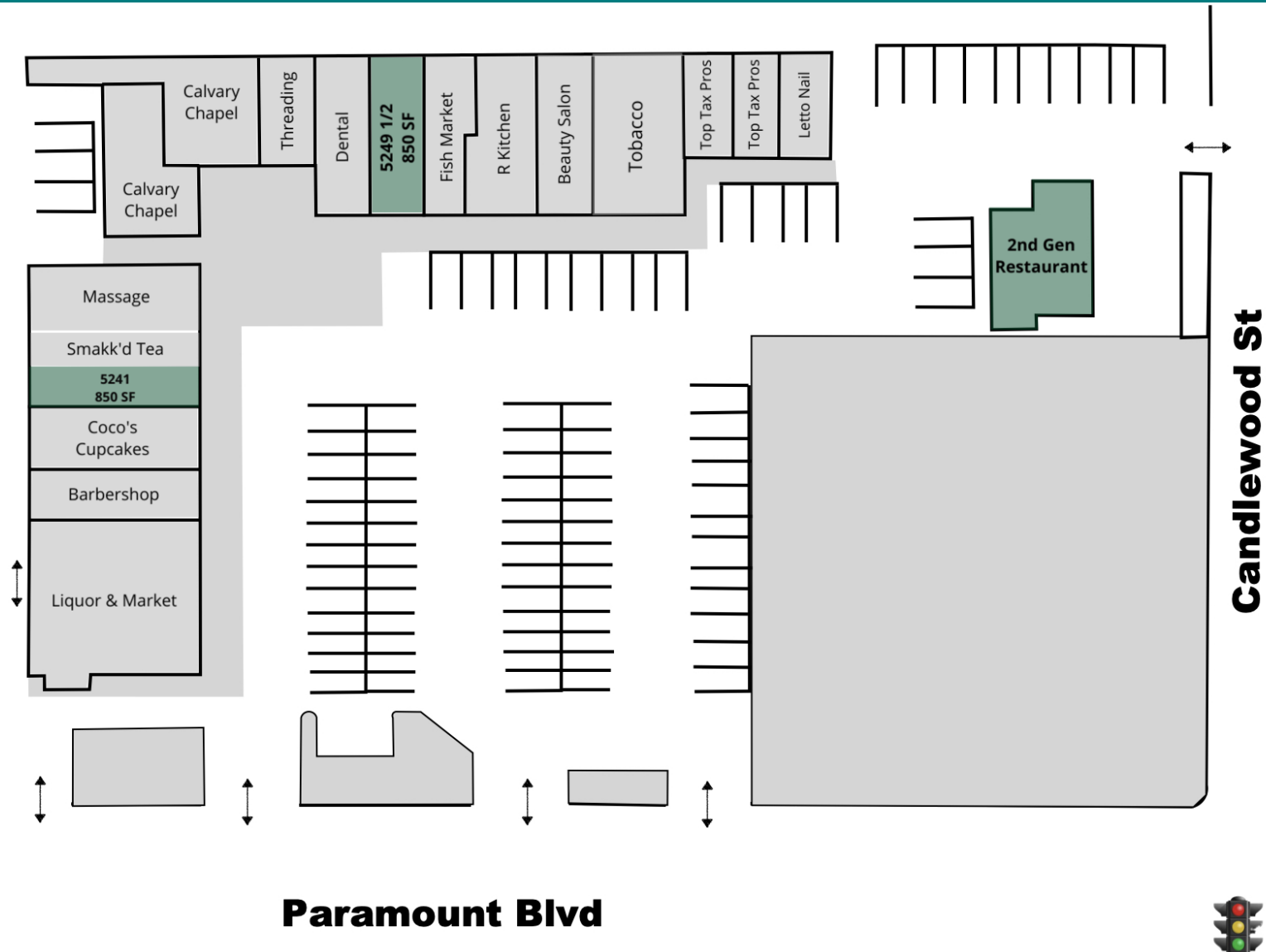
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SITE PLAN

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ADDITIONAL PHOTOS

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DEMOGRAPHICS MAP & REPORT

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POPULATION	1 MILE	3 MILES	5 MILES
Total Population	31,516	245,081	688,334
Average Age	35.4	36.0	35.7
Average Age (Male)	32.7	34.9	34.6
Average Age (Female)	38.4	37.3	36.7

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	10,360	79,564	213,983
# of Persons per HH	3.0	3.1	3.2
Average HH Income	\$89,836	\$85,975	\$84,593
Average House Value	\$476,431	\$485,657	\$478,792

ETHNICITY (%)	1 MILE	3 MILES	5 MILES
Hispanic	38.9%	49.4%	53.5%

RACE	1 MILE	3 MILES	5 MILES
% White	32.5%	37.0%	39.5%
% Black	19.3%	14.2%	13.1%
% Asian	20.5%	12.1%	13.0%
% Other	16.3%	27.0%	25.4%

TRAFFIC COUNTS

Paramount X Candlewood	36,525/day
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2020 American Community Survey (ACS)

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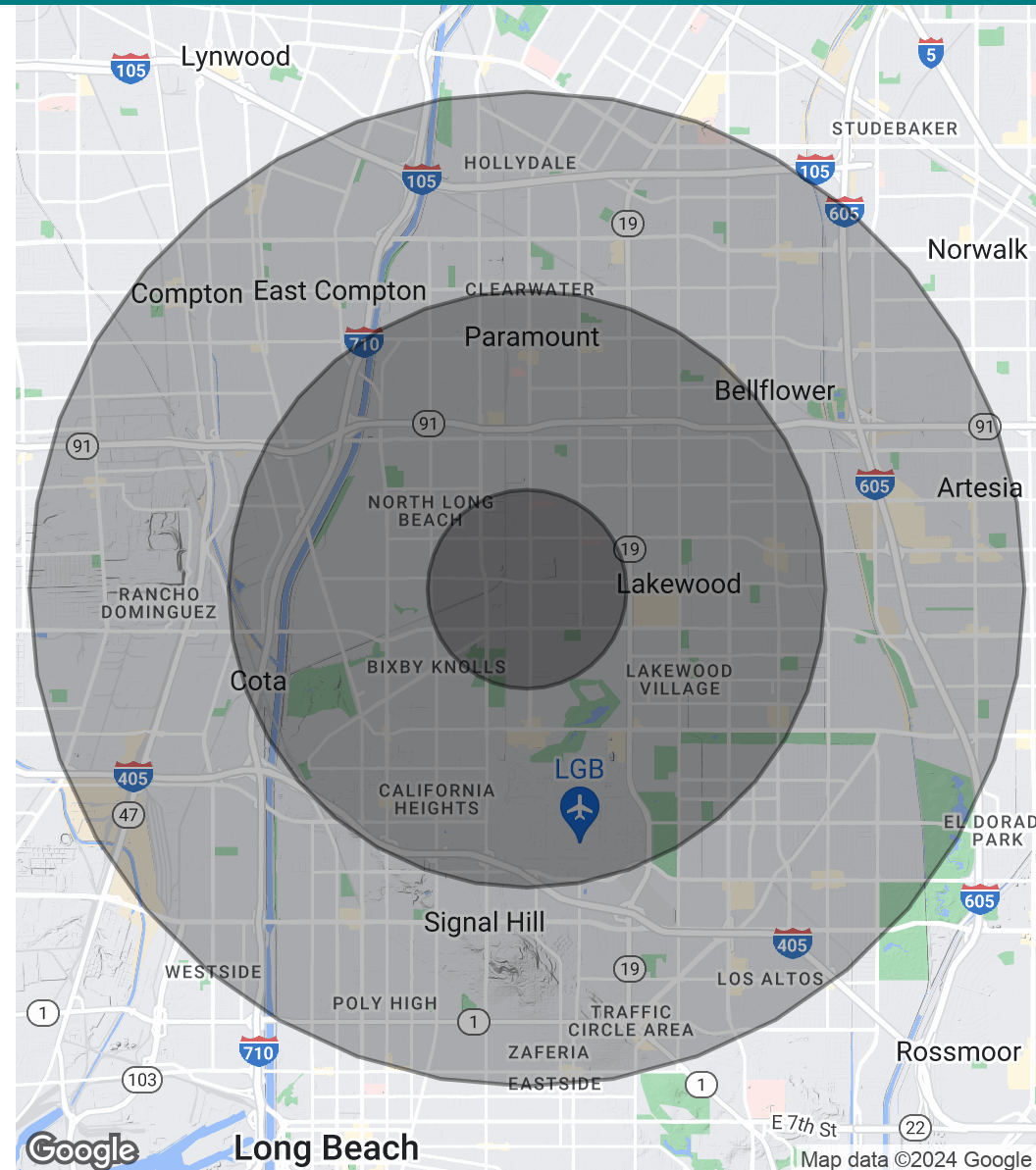
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MEET THE TEAM

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