LAND FOR SALE

INDUSTRIAL ACREAGE INSIDE CITY LIMITS OF ROCKMART, GA

898 Nathan Dean Parkway, Rockmart, GA 30153

SALE PRICE:	$1,350,000
PRICE PER ACRE:	$45,000
LOT SIZE:	30.0 Acres
APN #:	054-142 And 054-143
ZONING:	I-5 Industrial
MARKET:	NW Georgia
SUB MARKET:	Rockmart
TRAFFIC COUNT:	20,500

PROPERTY OVERVIEW

This +- 30 AC tract is zoned industrial inside the city limits of Rockmart. It fronts on four lane Hwy 278 (Nathan Dean Parkway) and is located near WalMart and many other national retailers and franchises.

PROPERTY FEATURES

- +- 30 Acres zoned I-5 with sewer and heavy power
- Storm water retention in place
- Adjoins rail for easy spur development
- 5,000 sqft and 2,400 sqft metal buildings on site
- Curb cut on Nathan Dean Parkway/US 278
- City of Rockmart is looking for industry to relocate and bring jobs

KW COMMERCIAL
3375 Dallas Highway, Suite 100
Marietta, GA 30064

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GA #119563

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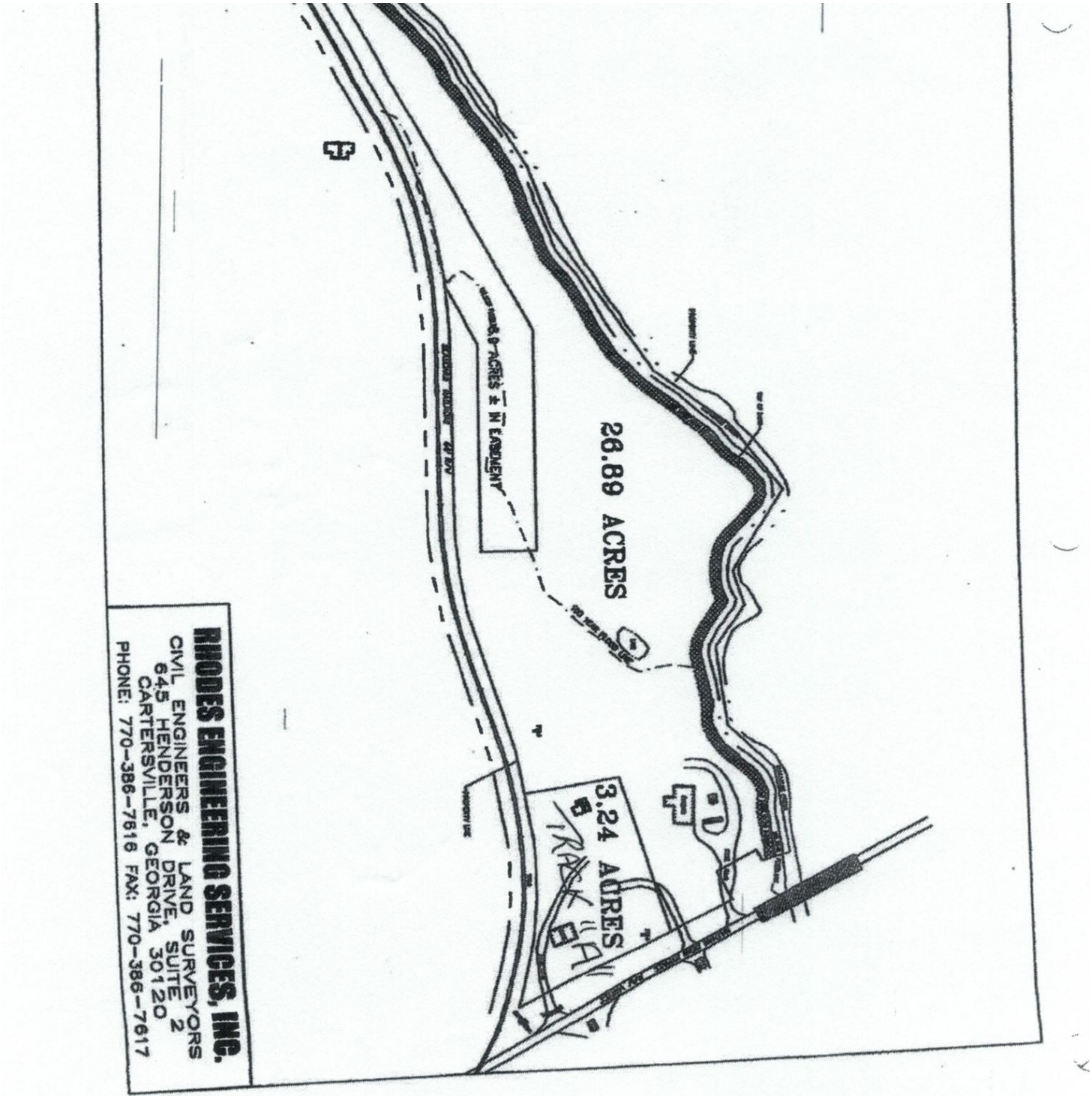

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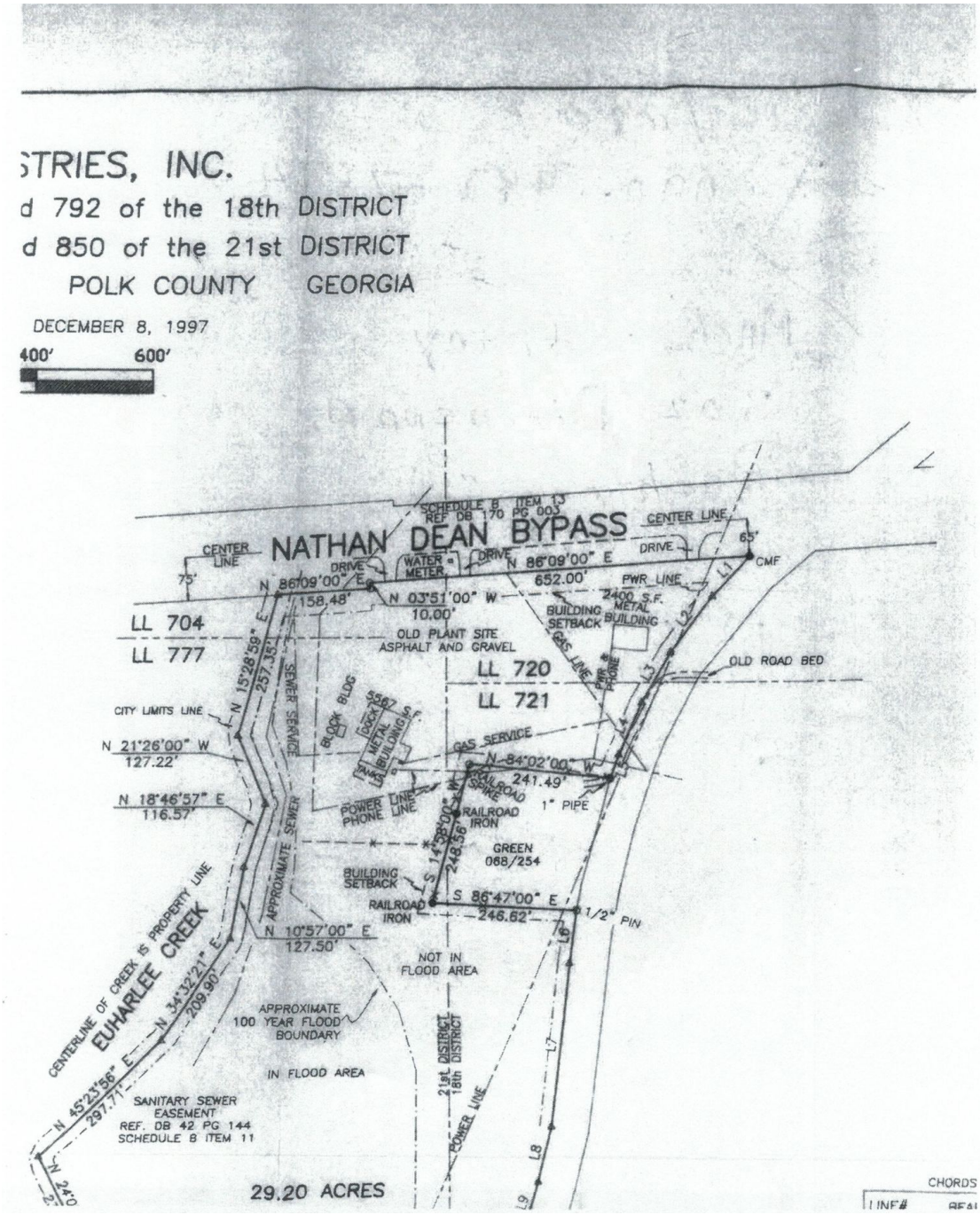

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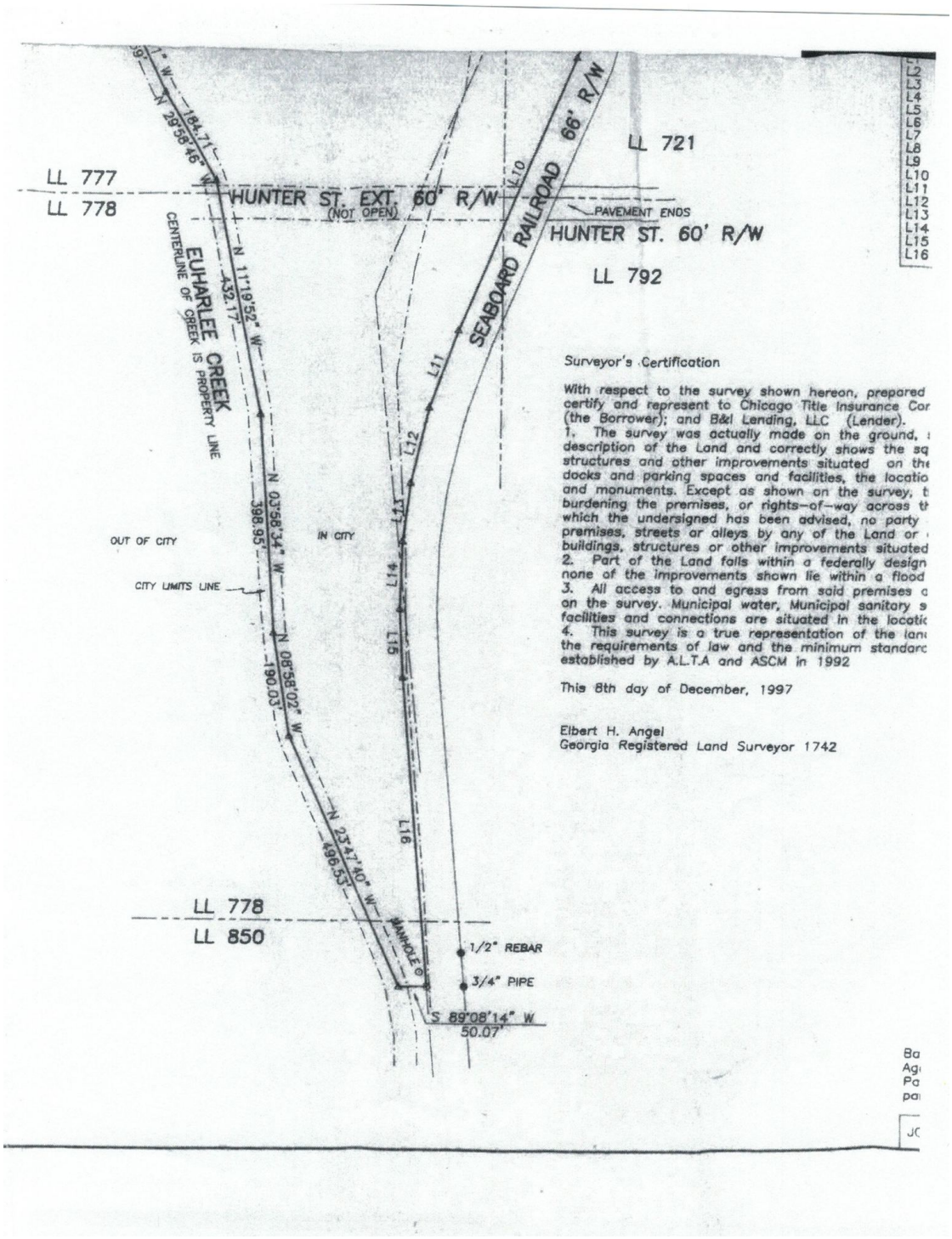

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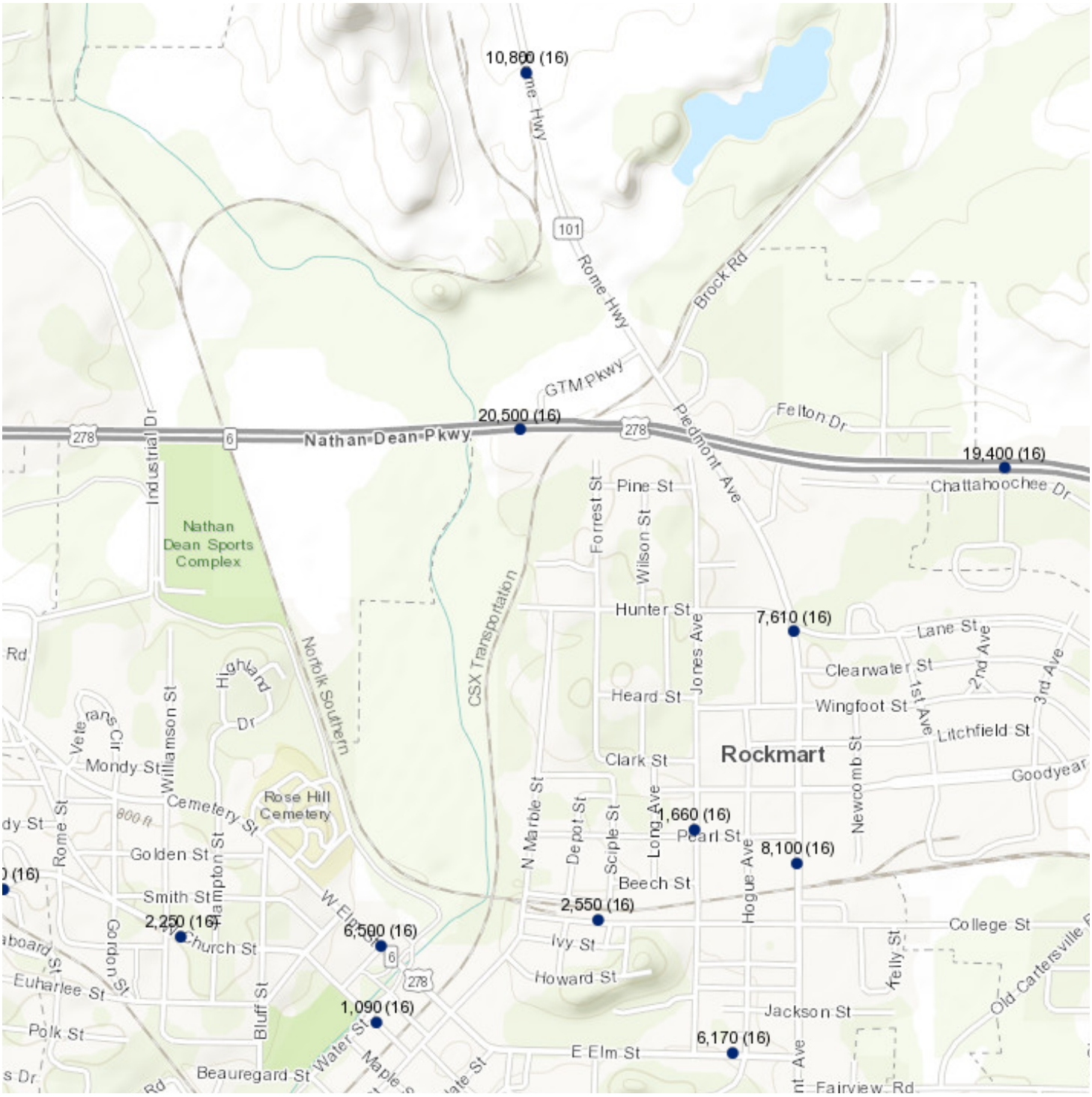

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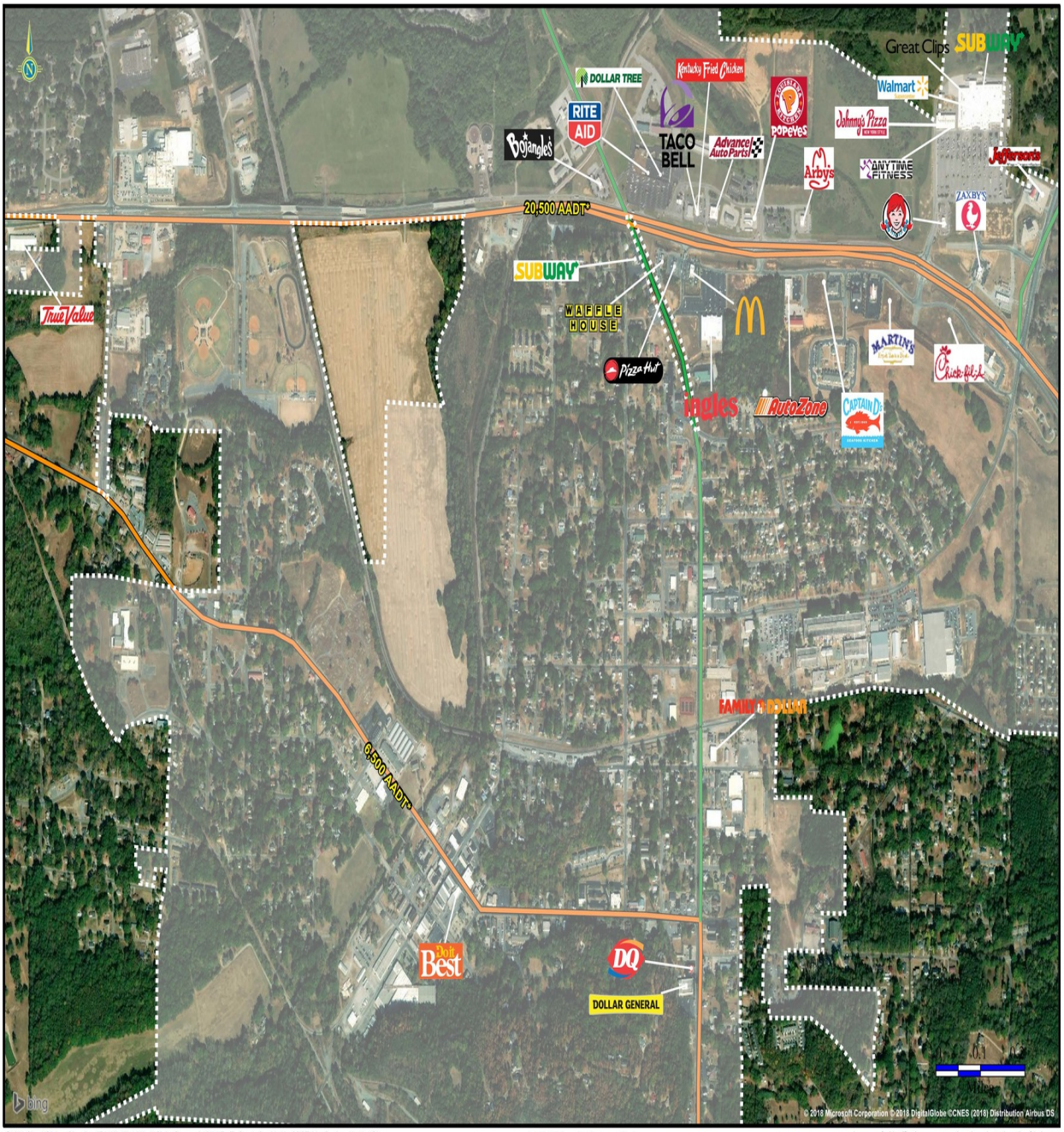

ROCKMART, GEORGIA
Major Retail Aerial

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NextSite

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Lat: 34.0037 Lon: -85.048 Zoom: 2.37 mi

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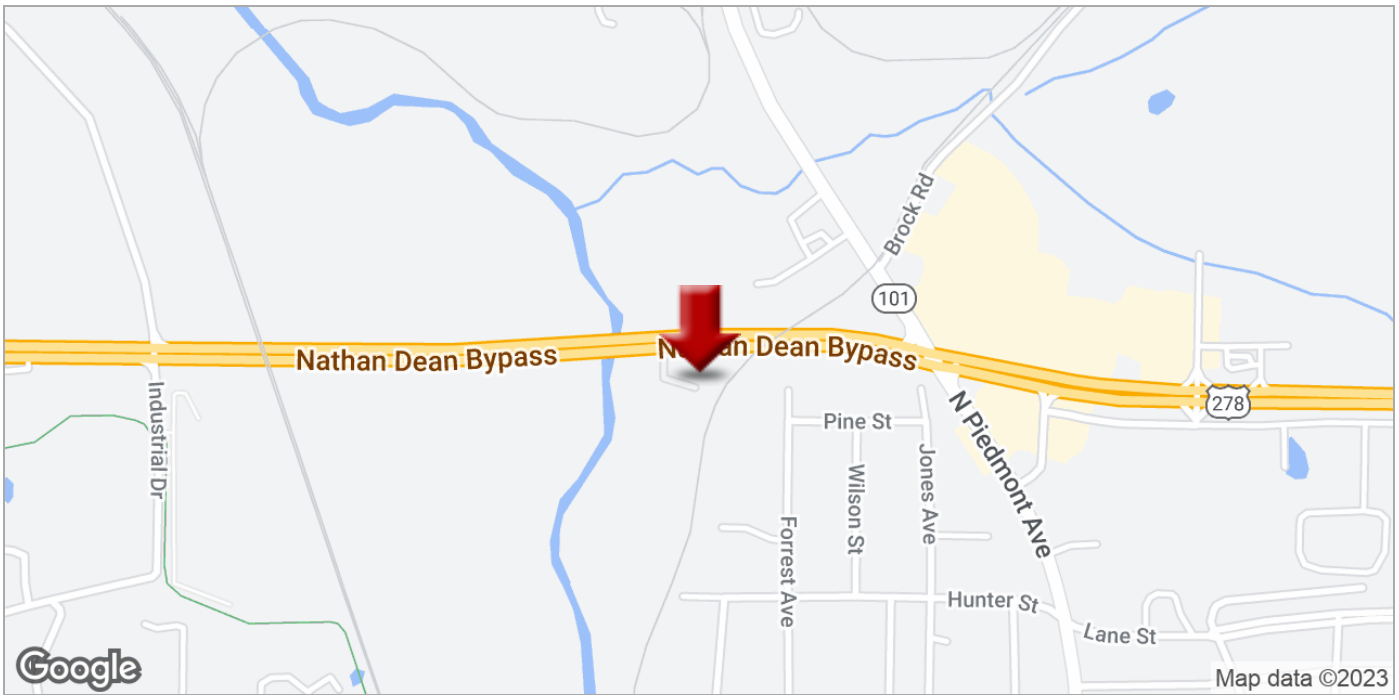

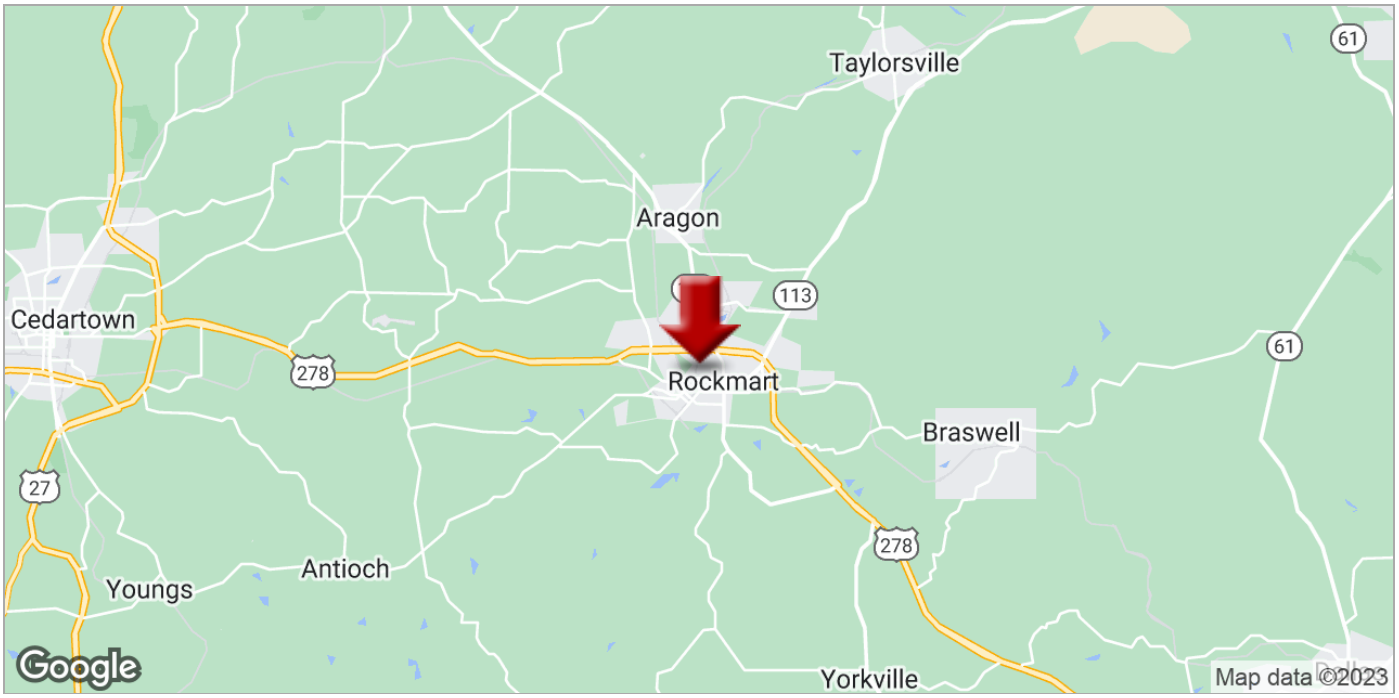

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INDUSTRIAL ACREAGE INSIDE CITY LIMITS OF ROCKMART, GA

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Consumer Spending Report

898 Nathan Dean Byp, Rockmart, GA 30153

Building Type: **Land**
Class: **-**
RBA: **-**
Typical Floor: **-**
Total Available: **0 SF**
% Leased: **0%**
Rent/SF/Yr: **-**

2017 Annual Spending ($000s)	1 Mile	3 Mile	5 Mile
Total Specified Consumer Spending	**$21,644**	**$86,191**	**$120,749**
Total Apparel	**$1,350**	**$5,226**	**$7,228**
Women's Apparel	509	1,977	2,741
Men's Apparel	263	1,044	1,457
Girl's Apparel	118	449	614
Boy's Apparel	83	313	428
Infant Apparel	69	252	346
Footwear	308	1,191	1,642
Total Entertainment & Hobbies	**$1,831**	**$7,091**	**$9,911**
Entertainment	290	1,124	1,596
Audio & Visual Equipment/Service	910	3,486	4,821
Reading Materials	63	254	360
Pets, Toys, & Hobbies	567	2,229	3,134
Personal Items	1,837	7,190	10,040
Total Food and Alcohol	**$6,014**	**$23,400**	**$32,550**
Food At Home	3,568	13,836	19,235
Food Away From Home	2,106	8,248	11,483
Alcoholic Beverages	340	1,316	1,832
Total Household	**$2,597**	**$10,699**	**$15,108**
House Maintenance & Repair	484	2,182	3,164
Household Equip & Furnishings	1,133	4,655	6,580
Household Operations	784	3,064	4,250
Housing Costs	196	797	1,114

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Consumer Spending Report

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2017 Annual Spending (000s)	1 Mile	3 Mile	5 Mile
Total Transportation/Maint.	**$5,691**	**$23,246**	**$32,795**
Vehicle Purchases	2,569	10,964	15,622
Gasoline	2,127	8,283	11,591
Vehicle Expenses	79	397	541
Transportation	222	916	1,278
Automotive Repair & Maintenance	694	2,687	3,763
Total Health Care	**$1,276**	**$5,170**	**$7,302**
Medical Services	628	2,569	3,637
Prescription Drugs	535	2,153	3,038
Medical Supplies	113	448	626
Total Education/Day Care	**$1,047**	**$4,170**	**$5,816**
Education	711	2,816	3,919
Fees & Admissions	336	1,354	1,896

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Demographic Detail Report

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Building Type: **Land**
Class: **-**
RBA: **-**
Typical Floor: **-**

Total Available: **0 SF**
% Leased: **0%**
Rent/SF/Yr: **-**

Radius	1 Mile		3 Mile		5 Mile	
Population						
2022 Projection	2,681		10,372		14,353	
2017 Estimate	2,657		10,231		14,166	
2010 Census	2,703		10,169		14,162	
Growth 2017 - 2022	0.90%		1.38%		1.32%	
Growth 2010 - 2017	-1.70%		0.61%		0.03%	
2017 Population by Age	**2,657**		**10,231**		**14,166**	
Age 0 - 4	182	6.85%	657	6.42%	900	6.35%
Age 5 - 9	199	7.49%	727	7.11%	995	7.02%
Age 10 - 14	194	7.30%	751	7.34%	1,031	7.28%
Age 15 - 19	176	6.62%	704	6.88%	972	6.86%
Age 20 - 24	158	5.95%	623	6.09%	859	6.06%
Age 25 - 29	183	6.89%	673	6.58%	915	6.46%
Age 30 - 34	179	6.74%	652	6.37%	883	6.23%
Age 35 - 39	163	6.13%	624	6.10%	857	6.05%
Age 40 - 44	156	5.87%	626	6.12%	874	6.17%
Age 45 - 49	164	6.17%	658	6.43%	924	6.52%
Age 50 - 54	176	6.62%	689	6.73%	975	6.88%
Age 55 - 59	172	6.47%	682	6.67%	965	6.81%
Age 60 - 64	146	5.49%	589	5.76%	830	5.86%
Age 65 - 69	127	4.78%	516	5.04%	728	5.14%
Age 70 - 74	104	3.91%	412	4.03%	579	4.09%
Age 75 - 79	74	2.79%	285	2.79%	395	2.79%
Age 80 - 84	52	1.96%	192	1.88%	260	1.84%
Age 85+	52	1.96%	171	1.67%	223	1.57%
Age 65+	409	15.39%	1,576	15.40%	2,185	15.42%
Median Age	**36.80**		**37.60**		**38.10**	
Average Age	**37.70**		**38.00**		**38.20**	

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Radius	1 Mile		3 Mile		5 Mile	
2017 Population By Race	**2,657**		**10,231**		**14,166**	
White	2,007	75.54%	8,068	78.86%	11,496	81.15%
Black	566	21.30%	1,820	17.79%	2,240	15.81%
Am. Indian & Alaskan	12	0.45%	38	0.37%	50	0.35%
Asian	25	0.94%	104	1.02%	124	0.88%
Hawaiian & Pacific Island	0	0.00%	3	0.03%	3	0.02%
Other	47	1.77%	198	1.94%	252	1.78%
Population by Hispanic Origin	**2,657**		**10,231**		**14,166**	
Non-Hispanic Origin	2,578	97.03%	9,852	96.30%	13,675	96.53%
Hispanic Origin	78	2.94%	379	3.70%	491	3.47%
2017 Median Age, Male	**34.80**		**36.00**		**36.70**	
2017 Average Age, Male	**36.20**		**36.70**		**37.10**	
2017 Median Age, Female	**38.50**		**39.20**		**39.40**	
2017 Average Age, Female	**39.10**		**39.20**		**39.30**	
2017 Population by Occupation Classification	**2,047**		**7,953**		**11,043**	
Civilian Employed	1,146	55.98%	4,490	56.46%	6,272	56.80%
Civilian Unemployed	105	5.13%	321	4.04%	406	3.68%
Civilian Non-Labor Force	796	38.89%	3,142	39.51%	4,365	39.53%
Armed Forces	0	0.00%	0	0.00%	0	0.00%
Households by Marital Status						
Married	412		1,872		2,698	
Married No Children	252		1,105		1,597	
Married w/Children	160		768		1,102	
2017 Population by Education	**1,883**		**7,171**		**9,889**	
Some High School, No Diploma	334	17.74%	1,480	20.64%	2,158	21.82%
High School Grad (Incl Equivalency)	722	38.34%	2,572	35.87%	3,503	35.42%
Some College, No Degree	456	24.22%	1,939	27.04%	2,616	26.45%
Associate Degree	135	7.17%	401	5.59%	481	4.86%
Bachelor Degree	167	8.87%	465	6.48%	632	6.39%
Advanced Degree	69	3.66%	314	4.38%	499	5.05%

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Radius	1 Mile		3 Mile		5 Mile	
2017 Population by Occupation	**2,171**		**8,460**		**11,747**	
Real Estate & Finance	40	1.84%	100	1.18%	144	1.23%
Professional & Management	406	18.70%	1,263	14.93%	1,753	14.92%
Public Administration	2	0.09%	93	1.10%	179	1.52%
Education & Health	194	8.94%	734	8.68%	984	8.38%
Services	246	11.33%	989	11.69%	1,328	11.31%
Information	82	3.78%	232	2.74%	261	2.22%
Sales	222	10.23%	860	10.17%	1,254	10.68%
Transportation	23	1.06%	50	0.59%	51	0.43%
Retail	143	6.59%	538	6.36%	785	6.68%
Wholesale	79	3.64%	217	2.57%	273	2.32%
Manufacturing	336	15.48%	1,207	14.27%	1,576	13.42%
Production	270	12.44%	1,229	14.53%	1,634	13.91%
Construction	80	3.68%	406	4.80%	651	5.54%
Utilities	36	1.66%	281	3.32%	407	3.46%
Agriculture & Mining	0	0.00%	12	0.14%	24	0.20%
Farming, Fishing, Forestry	0	0.00%	8	0.09%	17	0.14%
Other Services	12	0.55%	241	2.85%	426	3.63%
2017 Worker Travel Time to Job	**1,101**		**4,334**		**6,049**	
<30 Minutes	596	54.13%	2,331	53.78%	3,405	56.29%
30-60 Minutes	409	37.15%	1,571	36.25%	2,052	33.92%
60+ Minutes	96	8.72%	432	9.97%	592	9.79%
2010 Households by HH Size	**1,067**		**3,862**		**5,304**	
1-Person Households	303	28.40%	950	24.60%	1,236	23.30%
2-Person Households	320	29.99%	1,191	30.84%	1,657	31.24%
3-Person Households	206	19.31%	749	19.39%	1,023	19.29%
4-Person Households	130	12.18%	544	14.09%	787	14.84%
5-Person Households	57	5.34%	254	6.58%	359	6.77%
6-Person Households	27	2.53%	108	2.80%	152	2.87%
7 or more Person Households	24	2.25%	66	1.71%	90	1.70%
2017 Average Household Size	**2.50**		**2.60**		**2.70**	
Households						
2022 Projection	1,057		3,941		5,379	
2017 Estimate	1,047		3,886		5,308	
2010 Census	1,065		3,861		5,305	
Growth 2017 - 2022	0.96%		1.42%		1.34%	
Growth 2010 - 2017	-1.69%		0.65%		0.06%	

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INDUSTRIAL ACREAGE INSIDE CITY LIMITS OF ROCKMART, GA

898 Nathan Dean Parkway, Rockmart, GA 30153

Demographic Trend Report

1 Mile Radius

898 Nathan Dean Byp, Rockmart, GA 30153

Building Type: **Land**
Class: -
RBA: -
Typical Floor: -

Total Available: **0 SF**
% Leased: **0%**
Rent/SF/Yr: -

Description	2010		2017		2022	
Population	**2,703**		**2,657**		**2,681**	
Age 0 - 4	213	7.88%	182	6.85%	177	6.60%
Age 5 - 9	201	7.44%	199	7.49%	185	6.90%
Age 10 - 14	193	7.14%	194	7.30%	191	7.12%
Age 15 - 19	155	5.73%	176	6.62%	186	6.94%
Age 20 - 24	184	6.81%	158	5.95%	172	6.42%
Age 25 - 29	203	7.51%	183	6.89%	168	6.27%
Age 30 - 34	158	5.85%	179	6.74%	173	6.45%
Age 35 - 39	167	6.18%	163	6.13%	171	6.38%
Age 40 - 44	169	6.25%	156	5.87%	163	6.08%
Age 45 - 49	199	7.36%	164	6.17%	158	5.89%
Age 50 - 54	195	7.21%	176	6.62%	162	6.04%
Age 55 - 59	147	5.44%	172	6.47%	163	6.08%
Age 60 - 64	143	5.29%	146	5.49%	154	5.74%
Age 65 - 69	103	3.81%	127	4.78%	136	5.07%
Age 70 - 74	93	3.44%	104	3.91%	112	4.18%
Age 75 - 79	71	2.63%	74	2.79%	86	3.21%
Age 80 - 84	59	2.18%	52	1.96%	59	2.20%
Age 85+	49	1.81%	52	1.96%	65	2.42%
Age 15+	**2,095**	77.51%	**2,082**	78.36%	**2,128**	79.37%
Age 20+	**1,940**	71.77%	**1,906**	71.74%	**1,942**	72.44%
Age 65+	**375**	13.87%	**409**	15.39%	**458**	17.08%
Median Age	**36**		**37**		**38**	
Average Age	**36.90**		**37.70**		**38.50**	
Population By Race	**2,703**		**2,657**		**2,681**	
White	2,077	76.84%	2,007	75.54%	2,004	74.75%
Black	555	20.53%	566	21.30%	586	21.86%
Am. Indian & Alaskan	10	0.37%	12	0.45%	13	0.48%
Asian	18	0.67%	25	0.94%	26	0.97%
Hawaiian & Pacific Islander	0	0.00%	0	0.00%	0	0.00%
Other	40	1.48%	47	1.77%	52	1.94%

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Demographic Trend Report

1 Mile Radius

898 Nathan Dean Byp, Rockmart, GA 30153

Description	2010		2017		2022	
Population by Race (Hispanic)	**67**		**78**		**84**	
White	53	79.10%	59	75.64%	63	75.00%
Black	7	10.45%	10	12.82%	10	11.90%
Am. Indian & Alaskan	2	2.99%	2	2.56%	2	2.38%
Asian	3	4.48%	5	6.41%	6	7.14%
Hawaiian & Pacific Islander	0	0.00%	0	0.00%	0	0.00%
Other	1	1.49%	2	2.56%	2	2.38%
Household by Household Income	**1,065**		**1,047**		**1,058**	
<$25,000	387	36.34%	346	33.05%	343	32.42%
$25,000 - $50,000	254	23.85%	330	31.52%	343	32.42%
$50,000 - $75,000	234	21.97%	179	17.10%	173	16.35%
$75,000 - $100,000	55	5.16%	76	7.26%	77	7.28%
$100,000 - $125,000	43	4.04%	81	7.74%	91	8.60%
$125,000 - $150,000	22	2.07%	2	0.19%	0	0.00%
$150,000 - $200,000	27	2.54%	3	0.29%	2	0.19%
$200,000+	43	4.04%	30	2.87%	29	2.74%
Average Household Income	**$56,567**		**$51,593**		**$51,479**	
Median Household Income	**$40,142**		**$37,357**		**$37,216**	

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LAND FOR SALE

INDUSTRIAL ACREAGE INSIDE CITY LIMITS OF ROCKMART, GA

898 Nathan Dean Parkway, Rockmart, GA 30153

Donald B. Edwards, Jr.

KW COMMERCIAL DIRECTOR AND ASSOCIATE BROKER

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BACKGROUND

Donald B. Edwards, Jr. has been a commercial Realtor since 1984, enjoying a varied career in real estate brokerage, development and construction. My first transaction was a industrial lease for a Canadian firm, which hooked me on commercial real estate. During this period, I did franchise site selection, zoning, assemblages, sales, leasing and 1031 exchanges, enjoying a term as president of the Association of Georgia Real Estate Exchangers, and earning many commercial and residential designations in the Century 21 system. In the lat '80s and early '90s, I was involved in trust real estate with Trust Company Bank and SouthTrust, where I was Vice President/Manager of the trust real estate department. While in this position, I managed a wide variety of asets including industrial, retail, office, multifamily, residential, land, farms, timber and mining properties. Other duties included asset management, leasing, acquisitions, disposals, insurance, taxes, trust real estate division management and property inspections. I also became a CCIM Candidate. In the mid '90s I left trust real estate to pursue a dream of developing and building commercial and residential properties in the north Georgia mountains as well as continuing my brokerage activities. I am now doing commercial real estate as a Associate Broker and KW Commercial Director affiliated with Keller Williams Signature Partners, resuming my passion for commercial sales, leasing, exchanges and development. In addition, I am serving as the current president of AGREE, the Association of Georgia Real Estate Exchangers.

EDUCATION

1975 BS Business - Alaska Methodist University
CCIM Candidate

MEMBERSHIPS & ASSOCIATIONS

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Association of Georgia Real Estate Exchangers
KW Commercial

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