

ARTICLE 4. - ZONING DISTRICTS

Sec. 4.1. - General.

4.1.1. Zoning Districts Established. The following zoning districts are established under authority of Chapter 211 of the Local Government Code.

Abbreviated Designation	Zoning District Name
SF-1	Single-Family Dwelling 1
SF-2	Single-Family Dwelling 2
SF-3	Single-Family Dwelling 3
2F	Two-Family Dwelling
MF-1	Multiple-Family Dwelling 1
MF-2	Multiple-Family Dwelling 2
MF-3	Multiple-Family Dwelling 3
O-1	Office 1
O-2	Office 2
C-1	Light Commercial
C-2	Medium Commercial
C-3	General Commercial
I-1	Light Industrial
I-2	Medium Industrial
I-3	Heavy Industrial
AG	Agricultural
PUD	Planned Unit Development
MH	Manufactured Home

4.1.2. Zoning District Map.

- A. The boundaries of the zoning districts established in Section 4.1. are delineated upon the official Zoning District Map of the City. The Zoning District Map is hereby adopted by reference and declared a part of this Ordinance as fully as if set forth in detail.
- B. The official Zoning District Map is available on the City's website. The Planning Director must post all amendments to the map as soon as possible after the effective date of the Zoning District Map amendment.
- C. Reproductions for information purposes may, from time to time, be made of the official Zoning District Map.

4.1.3. Zoning District Boundaries. The district boundary lines shown on the Zoning District Map are usually along existing and proposed streets, alleys or property lines. Where uncertainty exists as to the boundaries of districts as shown on the Zoning District Map, the following rules apply.

- A. Boundaries indicated as approximately following the centerlines of streets, highways or alleys are construed to follow such centerlines.
- B. Boundaries indicated as approximately following platted lot lines are construed as following such lot lines.
- C. Boundaries indicated as approximately following City limits are construed as following City limits.
- D. Boundaries indicated as following railroad lines are construed to follow the centerline of the tracks.
- E. Boundaries indicated as following shore lines are construed to follow such shore lines, and in the event of change in the shore line are construed as moving with the actual shore line; boundaries indicated as approximately following the centerlines of streams, rivers, canals, lakes or other bodies of water are construed to follow such centerlines.
- F. Boundaries indicated as parallel to or extensions of features indicated in A through E above are so construed. The scale of the map determines distances not specifically indicated on the original Zoning District Map.
- G. Whenever the City Council vacates a street, alley or other public street right-of-way or whenever such area is franchised for building purposes, the zoning district line adjoining each side of such street, alley or other public way is automatically extended to the centerline of such vacated public street right-of-way and all areas so involved become subject to all regulations of the extended districts.
- H. Where physical features on the ground vary from information shown on the official Zoning District Map or when there arises a question as to how or whether a parcel of property is zoned and the application of this Section cannot resolve such question the property must be considered as classified AG, Agricultural zoning district, temporarily in the same manner as provided for newly annexed territory and the issuance of a Building Permit and the determination of permanent zoning must be in accordance with the provisions provided in Section 4.2. for newly annexed territory.

(Ord. No. 2014-004, Att. A, 11-4-14)

Sec. 4.2. - Zoning Districts Described.

4.2.1. AG, Agricultural.

- A. The Agricultural zoning district allows agricultural uses and accessory structures and single-family residences and related accessory structures. The Agricultural zoning district is the typical zoning district assigned to property upon annexation.
- B. The Agricultural zoning district consists generally of areas containing rural land uses or undeveloped acreage that is not anticipated to be put to an urban use in the near future. This district is intended for areas that are farther from the City center and large enough that municipal wastewater facilities are not required. This district allows the continuation of general rural uses within the City with the intent that the area can be reassessed and classified as an appropriate urban district according to its characteristics and suitability as urban development occurs.
- C. Permitted Uses are as shown on the table at Subsection 5.1.3.
- D. Dimensional Requirements are as shown on the table at Subsection 4.4.1.
- E. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.2. SF-1, Single Family Dwelling 1. The Single Family Dwelling 1 zoning district permits single-family (detached) residences and related accessory structures. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.3. SF-2, Single Family Dwelling 2. The Single Family Dwelling 2 zoning district permits single-family (detached) residences and related accessory structures. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.4. SF-3, Single Family Dwelling 3. The Single Family Dwelling 3 zoning district permits single-family residences, townhomes, patio homes, and related accessory structures. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.5. 2F, Two-Family Dwelling. The Two-Family dwelling zoning district permits single-family to duplex housing, townhomes, and patio homes. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.6. MF-1, Multiple Family Dwelling 1. The Multiple Family Dwelling 1 zoning district permits single family, two family, patio home, and townhouse dwellings, as well as typical garden apartment complex development of one to two stories (allowing up to approximately 15 units per acre). Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.7. MF-2, Multiple Family Dwelling 2. The Multiple Family Dwelling 2 zoning district permits single family, two family, patio home, and townhouse dwellings, as well as allowing for apartment complexes (allowing up to approximately 20 units per acre) in buildings not to exceed a height of four stories. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.8. MF-3, Multiple Family Dwelling 3. The Multiple Family Dwelling-3 zoning district permits conventional and high density high rise apartment development (maximum 10 stories) allowing up to approximately 40 units per acre, in addition to all lower density residential uses allowed in MF-2. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are as shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.9. MH, Manufactured Home. The Manufactured Home zoning district allows HUD-Code manufactured home subdivisions and HUD-Code manufactured home land lease communities. Manufactured home subdivisions and land lease communities require a minimum of five acres and a maximum density of 10 units per acre. Specific Use Standards are contained at Section 5.3. Dimensional Requirements are addressed as part of Section 5.3 and Section 4.4.1. Single family homes, two family homes, patio homes and townhomes are permitted. Permitted uses are shown on the table at Subsection 5.1.3. Other applicable requirements are set forth in the articles and sections of this Ordinance and in the Subdivision Ordinance.

4.2.10 O-1, Office 1. The Office 1 zoning district permits low rise garden-type office development providing professional, financial, medical and other office services. Since the district will generally be located near residential areas; use and development should be complimentary to the character of the residential neighborhood. This district is designed to allow low intensity administrative and professional offices. Two family, and townhouse dwellings, as well as typical garden apartment complex development of one to two stories (allowing up to approximately 15 units per acre) are permitted. Permitted uses are not intended to be major traffic generators. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.11 O-2, Office 2. The Office 2 zoning district permits a variety of low, mid and high rise office development. Buildings in the O-2 District may be built to any legal height. Office buildings over 35 feet in height must provide additional yard space. The Office 2 zoning district is intended to allow for office uses in an area that is primarily business or high density residential. This district provides for professional, financial, medical and other office services and may include corporate offices and major employment centers. Two family, and townhouse dwellings, as well as typical garden apartment complex development of one to two stories (allowing up to approximately 15 units per acre) are permitted. Uses in this district generally have low traffic generation characteristics and do not require high visibility to conduct business. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.12. C-1, Light Commercial. The Light Commercial zoning district is the standard retail district and allows most retail uses including retail sales, restaurants, grocery stores, department stores or offices. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.13. C-2, Medium Commercial. The Medium Commercial zoning district principally addresses development in the Central Area of the City, allowing most commercial, retail and office uses. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.14. C-3, General Commercial. The General Commercial zoning district permits all retail and most commercial land uses including auto dealerships with or without complete servicing facilities, building material sales, light manufacturing and heavy machinery sales and storage. C-3 districts are generally located along major thoroughfares. Significant ingress/egress and parking improvements are required. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.15. I-1, Light Industrial. The Light Industrial zoning district permits light industrial uses. I-1 districts are generally located away from areas of low and medium density residential development. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.16. I-2, Medium Industrial. The Medium Industrial zoning district permits medium industrial uses as defined by performance standards in Section 7.1. Residential uses are not allowed. The Medium Industrial zoning district is intended for those industrial uses that may need to be buffered. Lots must be large enough to reasonably mitigate air, noise, odor and vibration pollution. I-2 Districts are generally located near major thoroughfares. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

4.2.17. I-3, Heavy Industrial. The Heavy Industrial zoning district permits heavy industrial uses as defined by performance standards in Section 7.1. Residential uses are not allowed. The Heavy Industrial zoning district is intended for those industrial uses that may need to be buffered. Lots must be large enough to reasonably mitigate air, noise, odor and vibration pollution. Additional mitigation measures may be required. I-3 Districts are generally located near major thoroughfares and away from all residential development. Permitted Uses are as shown on the table at Subsection 5.1.3. Dimensional Requirements are shown on the table at Subsection 4.4.1. Other applicable requirements are set forth in the articles and sections of this Ordinance.

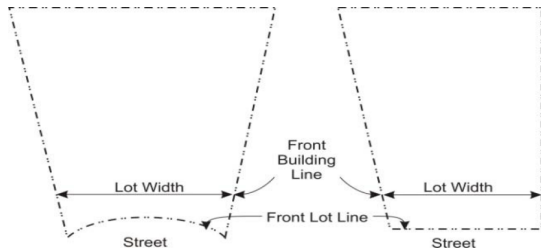
4.2.18. PUD, Planned Unit Development. A Planned Unit Development zoning district is a flexible zoning district, designed to respond to unique development proposals, special design considerations and land use transitions by allowing evaluation of land use relationships to surrounding areas through development plan approval. The base zoning district or the ordinance that creates the Planned Development determines maximum building height for each Planned Unit Development District. Planned Unit Development zoning districts are created by amendment to zoning in an area. Procedural requirements apply to establishment of such districts. Information regarding the creation of such districts and requirements applicable to such districts is contained at Section 3.4.

Sec. 4.3. - Measurements and Special Cases.

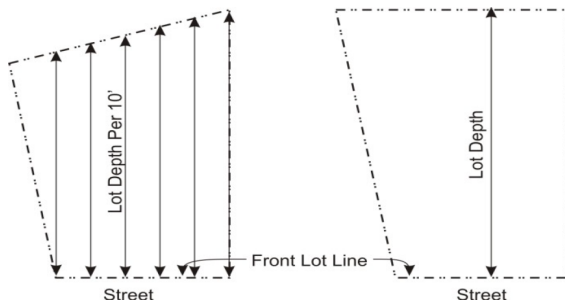
The provisions of this Section provide the method of measurement and set forth certain special cases relative to the dimensional standards in [Section 4.4](#), and other sections of this Ordinance.

4.3.1. Minimum Lot Area. Minimum lot area standards are established in the table in [Section 4.4](#). Lot area is measured as the total area within the lot lines of the lot excluding any street rights-of-way.

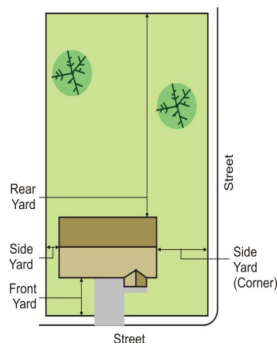
4.3.2. Minimum Lot Width. Minimum lot area standards are established in the table in [Section 4.4](#), and in other provisions of this Ordinance. Lot width is measured as the distance between the side lot lines measured at the front building line parallel to the front property line or to the cord of the front property line.



4.3.3. Minimum Lot Depth. Minimum lot depth standards are established in the table in [Section 4.4](#), and other provisions of this Ordinance. Lot depth is measured as the distance from the front lot line to the rear lot line. Where the front and rear lot lines are not parallel, the lot depth is measured by drawing lines from the front to the rear lot lines, at right angles to the front lot line every 10 feet, and averaging the length of these lines.

**4.3.4. Minimum Yards.**

A. **Open and Unobstructed.** Every part of a required front yard must be open and unobstructed except as authorized in this Ordinance.



B. **Types of Yards.** Required yard types are as follows: Front; Side; Side (corner); and Rear.

C. **Measurement of Yards.** All required yards are measured from the front, side or rear property line to the nearest face of the building, covered porch, covered terrace or attached accessory building.

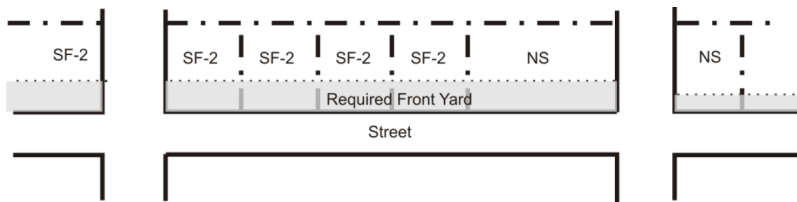
D. **Features Allowed Within Required Yards.** The following features may be located within a required yard:

1. Window sills, belt courses, cornices and other architectural features projecting a maximum of 12 inches into the required side yard; and
2. Roof eaves or canopies projecting a maximum of 24 inches into the required side yard and a maximum of 48 inches into the required front yard.
3. Window sills, belt courses, cornices, roof eaves or canopies and other architectural features projecting a maximum of 36 inches into the required rear yard.
4. Fences that comply with the standards in [Article 6](#).

E. **Setback Averaging.** If buildings on a residential block face have observed an average setback which is greater or lesser than the minimum front yard required for the district in which the street frontage is located, then the average setback of all buildings fronting upon such block face establishes the minimum required front yard for a new residential structure.

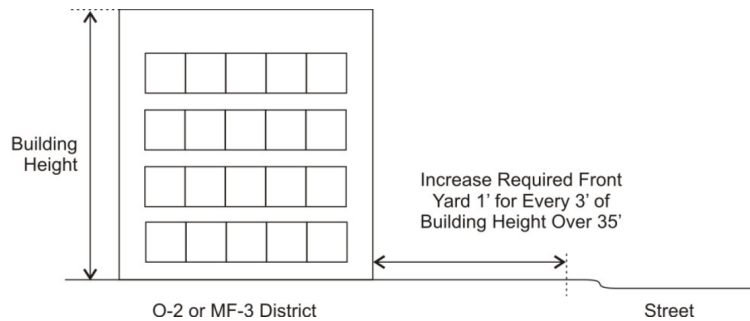
F. **Yard Requirements for Special Cases.** The following special cases apply to the yard requirements in [Section 4.4](#).

- G. **Required Front Yards.** In all districts except the Agricultural zoning district where the frontage on one block face is divided by two or more zoning districts, the required front yard must comply with the requirements of the most restrictive district for the entire block face.



Where an approved and recorded plat or ordinance establishes a building line and such line requires a front yard setback greater or lesser in depth than is prescribed in Section 4.4, for the district in which the building line is located, the required front yard must comply with the building line that the ordinance or plat established.

The required front yard setback must be increased in the O-2 and MF-3 zoning districts one foot for each three feet of additional building height over 35 feet.



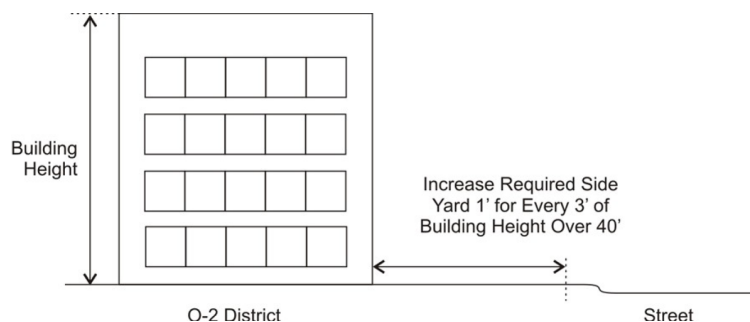
In the C-2, C-3, I-1, I-2 and I-3 districts a structure may not be erected nearer than 30 feet to the centerline of any street on which such structure fronts.

Where a lot abuts the turnaround at the end of a cul-de-sac street, the front yard setback required in any of the residential zoning districts may be reduced by a maximum of 10 feet if the lesser setback is shown on the final plat recorded with the County Clerk of McLennan County. Such resulting setback may not be less than 65 feet from the center of radius point of such turnaround.

Where lots have double frontage, a required front yard is provided on both streets unless a building line for accessory buildings has been established along one street frontage on the plat or by ordinance, in which event only one required front yard need be observed.

H. **Required Side Yards.**

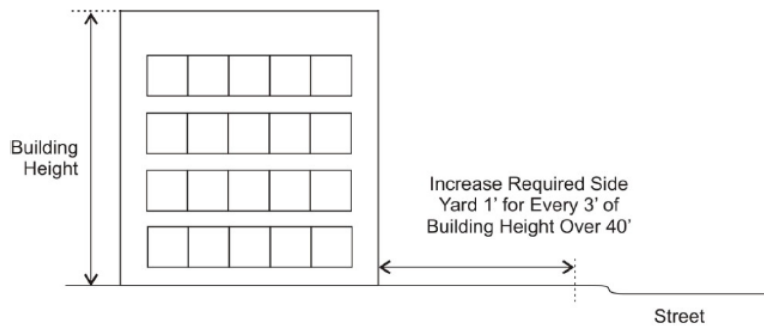
1. **O-2 District.** In the O-2 zoning district, the required side yard setback must be increased one foot for each three feet of additional building height over forty feet.



2. **C-2, C-3, I-1, I-2 and I-3 Districts.** In the C-2, C-3, I-1, I-2 and I-3 zoning districts, a side yard is not required for nonresidential uses except where a nonresidential use abuts upon a district boundary line dividing such districts from a residential zoning district, in which event, the following standards apply:

In the C-2 zoning district, a minimum side yard of five feet must be provided on the side adjacent to a residential zoning district. If the building height exceeds 40 feet, the side yard setback must increase one foot for each three feet over 40 feet in building height.

In C-3, I-1, I-2 and I-3 zoning districts, a minimum side yard of 10 feet must be provided on the side adjacent to a residential zoning district. If the building height exceeds 40 feet, the side yard setback must increase one foot for each three feet over 40 feet in building height.



- I. **Required Rear Yards.** In the O-1, O-2, C-1, C-2, C-3, I-1, I-2 or I-3 districts a minimum rear yard of 10 feet is required adjacent where a nonresidential use abuts a residential zoning district or use. Where an alley exists, a rear yard is not required.

In the O-2 zoning district, where nonresidential uses back upon a common district line dividing the district from a single-family residential zoning district, a minimum rear yard of 40 feet is required.

4.3.5. Maximum Building Coverage. Building coverage is measured as the maximum percent of the rear half of a lot or tract that the roof or first floor of a building may cover. Roof eaves extending less than three feet from the walls of a building, swimming pools, uncovered porches, patios or decks may be excluded from the building coverage computations.

4.3.6. Maximum Floor Area Ratio. Except as provided in this Section, a structure may not be erected, added to or altered to exceed the maximum floor area ratio (FAR) standards set forth in the table below. A structure used for off-street parking may not be computed as area subject to Floor Area Ratio standards.

Maximum Floor Area Ratio	
Zoning District	Maximum FAR
O-1, Office One	0.6:1
O-2, Office Two	0.4:1
C-1, Light Commercial	0.6:1
C-2, Medium Commercial	20:1
C-3, General Commercial	4:1
I-1, Light Industrial	2:1
I-2, Medium Industrial	2:1
I-3, Heavy Industrial	2:1

4.3.7. Maximum Height. Height is measured as the vertical distance of a building measured from the average established grade at the street line or from the average natural front yard ground level, whichever is higher, to (1) the highest point of the roof's surface if a flat surface, (2) to the deck line of mansard roofs or (3) to the mean height level between eaves and ridge for hip and gable roofs and, in any event, excluding chimneys, cooling towers, elevator bulkheads, penthouses, tanks, water towers, radio towers, ornamental cupolas, domes or spires and parapet walls not exceeding 10 feet in height. If the street grade has not been officially established, the average front yard grade must be used for a base level.

In the zoning districts where maximum building height is restricted to four stories or less, cooling towers, roof gables, chimneys and bent stacks may extend for an additional height not to exceed 40 feet above the average grade line of the building. A basement must be counted as a story in computing building height. A cellar may not be counted as a story in computing building height.

Water stand pipes and tanks, steeples, domes and spires and school buildings and institutional buildings may be erected to exceed three stories in height in residential areas restricted to two or three stories in height, provided that one additional foot must be added to the width and depth of side and rear yards for each foot that such structures exceed three stories in height.

4.3.8. Intersection Visibility Triangle. An intersection visibility triangle is established at all intersections where the streets, alleys and driveways intersect. It includes that portion of public street right-of-way and any corner lot in the triangular area formed by extending the curb lines of the intersecting streets to their imaginary point of intersection for the first point of the triangle, then proceeding back from this imaginary point of intersection 15 feet along the curb lines of the intersecting streets to establish the two remaining points of the triangle. These points must then be connected with imaginary lines, thereby forming a triangle. If there are no curbs existing, the triangular area are formed by extending the pavement edges to the imaginary point of intersection of the streets and then proceeding in the same manner described above.

A vehicle, fence, wall, screen, view obstruction, or foliage is not allowed within the intersection visibility triangle at elevations between three feet and eight feet above the average street grade. Obstructions of this nature are a public traffic nuisance. Obstruction of an intersection visibility triangle must be abated within 10 days after written notice.

(Ord. No. 2014-004, Att. A, 11-4-14)

Sec. 4.4. - Dimensional Standards.

Certain dimensional standards applicable in zoning districts are set forth in the table shown in Subsection 4.4.1 below. These standards apply except as specifically modified by another Section of this Ordinance. This is intended as a general overview, in some instances a listed use within a zoning district may be subject to greater or lesser dimensional requirements as set forth in specific text references in this Ordinance. For example, Section 4.3. of this Ordinance requires setbacks in specific situations based on height or location even where the standard requirement shown in this table is a lesser requirement or is "0", and Section 5.3. of this Ordinance sets forth dimensional requirements applicable to specific uses, including townhomes and patio homes.

4.4.1. Zoning District Dimensional Standards.

Type of Use	AG	SF-1	SF-2	SF-3	MH	2F	MF-1	MF-2	MF-3	O-1	O-2	C-1	C-2	C-3	I-1	I-2	I-3
Min. Lot Area (sq. ft.)	2 ac.	12,000	8,000	6,000	5 ac.	6,000	6,000	2,800	2,200	6,000	6,000	6,000	10,000	20,000	40,000	15,000	80,000
Min. Lot Width (ft.)	100	100	80	60	100	60	50	60	60	60	60	60	80	100	200	75	200
Min. Lot Depth (ft.)	150	120	100	100	100	100	120	120	120	100	100	100	0	0	0	0	0
Min. Front Yard Setback (ft.)	50	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25
Min. Side Yard Setback (ft.)	15	10	5	5	5	5	See 5.3.4	See 5.3.4	See 5.3.4	5	5	15	0	0	0	0	0
Min. Side (Corner) Yard Setback(ft.)	15	15	15	15	15	15	15	15	15	15	15	15	15	15	15	15	15
Min. Rear Yard Setback (ft.)	10	10	10	10	10	10	10	10	10	10	10	25	10	10	0	0	0
Max. Building Coverage (%) for Rear Half of Lot	50	50	50	50	50	50	See 5.3.4	See 5.3.4	See 5.3.4	50	50	50	0	0	0	0	0
Max. Height (feet)	35	35	35	35	35	35	35	70	ALH	35	35	35	35	60	60	90	ALH

ALH = Any Legal Height not prohibited by other laws

(Ord. No. 2014-004, Att. A, 11-4-14)